3

Planning Commission
Study Session

TO: **PLANNING COMMISSION / DESIGN REVIEW BOARD**

FROM: **STEPHANIE BUBENHEIM, PLANNER II** SB
(480) 503-6625, STEPHANIE.BUBENHEIM@GILBERTAZ.GOV

THROUGH: **AMY TEMES, INTERIM PRINCIPAL PLANNER**
(480) 503-6729, AMY.TEMES@GILBERTAZ.GOV

MEETING DATE: **JANUARY 9, 2019**

SUBJECT: **DR18-206, VERDE AT COOLEY STATION**

STRATEGIC INITIATIVE: Community Livability

To allow for mixed use development in the Gateway Village Center.

REQUEST

DR18-206, Verde at Cooley Station: Master site plan, Phase 1 site plan, landscape, grading and drainage, elevations, lighting, colors and materials for approximately 15.99 acres, generally located at the southwest corner of Recker and Williams Field Roads and zoned Gateway Village Center (GVC) with a Planned Area Development (PAD) overlay.

RECOMMENDED MOTION

Request for input only. No motion required.

APPLICANT/OWNER

Company:	EPS Group, Inc.	Company:	Cooley Black Canyon LLC
Name:	Natalie Griffin	Name:	Jeff Cooley
Address:	2045 S. Vineyard, Ste. 101 Mesa, AZ 85210	Address:	6859 E. Rembrandt Ave Ste. 125 Mesa, AZ 85212
Phone:	480-503-2250		
Email:	Natalie.griffin@epsgroupinc.com	Email:	jeff@cooleystation.com

BACKGROUND/DISCUSSION

History

Date	Description
December 19, 2006	Town Council adopted Annexation No. A05-03, Ordinance No. 1878 annexing 738 acres at Recker and Williams Field Roads.
March 6, 2007	The Town Council adopted Ordinance No. 1900 in case Z06-74 to rezone approximately 302 acres for the Cooley Station – Residential, Office and Shopping Center PAD.
July 17, 2007	The Town Council adopted Ordinance No. 1995 in case Z06-96 to rezone approximately 124.5 acres for the Cooley Station – Village and Business Center PAD.
June 24, 2008	The Town Council adopted Ordinance No. 2179 in case Z07-117 approving an amendment to approx. 300 acres in the Cooley Station – Residential, Office and Shopping Center PAD to revise several conditions of Ordinance No. 1900 in zoning case Z06-74, modifying development standards for building and landscape setbacks, and revising the street exhibits.
February 15, 2018	Town Council approved Cooley Development Agreement in Resolution No. 3955 redefining the Cooley Station Village Center and respective construction and financial obligations.
December 5, 2018	Planning Commission recommended approval of GP18-10 and Z18-20: Verde at Cooley Station rezoning 57.16 acres.
January 22, 2019	Town Council will conduct the public hearing for GP18-10 and Z18-20.

Overview

Verde at Cooley Station is located on the southwest corner of Recker and Williams Field Roads and is the heart of Cooley Station Village Center within the Gateway Character Area. The Town Council will be conducting a public hearing January 22, 2019 to consider the Minor General Plan Amendment and Rezoning case (GP18-10, Z18-20) for Verde at Cooley Station to reconfigure the zoning districts on the southwest corner and establish a planned area development for the village center.

Over the years, developers and staff have worked to capture the neo-traditional feel of neighborhoods with the ability to walk to amenities, shops, school, work and the future commuter rail transit center at the village center. The Gateway Area streetscape created a walkable streetscape that embodies a more pedestrian friendly, urban feel that will compliment higher density development for the Village Center. The site is also located in the Mesa Gateway Airport Overlay District (Overflight Area 3) and is in the Gateway Village Center Growth Area in the General Plan.

This design review will establish a master site plan and Phase 1 site plan for development of the mixed use commercial, office, and retail component for Verde at Cooley Station. Phase 1 will include perimeter landscaping for the entire site and it will establish a road network. No enclosed buildings are part of this Design Review but conceptual elevations are provided as part of the

Design Guidelines that will establish an overall color palette and materials. As buildings are brought forth, individual Design Review cases will be presented in phases. The overall Gateway Village Center zoning district will consist of commercial, office, retail and multi-family uses on the hard corner of Recker and Williams Field that will include a green pedestrian corridor leading towards the future commuter rail transit center. The intent is to integrate all uses for ease of access throughout Verde at Cooley Station.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	**Existing Zoning**	**Existing Use**
North	Residential >14-25 DU/Acre and General Commercial	Multi-Family/Medium (MF/M) PAD and General Commercial (GC) PAD	Williams Field Road then Vacant (Cooley Station Parcel 26)
South	Utility/Transportation	Public Facility/Institutional	Union Pacific Railroad
East	General Commercial and Residential >5-8 DU/Acre	General Commercial (GC) PAD and Single-Family Detached (SF-D) PAD	Recker Road then (Parcels 27, 9 and 11)
West	General Commercial	General Commercial (GC)	Vacant/Agricultural
Site	Village Center, Business Park, and Residential >14-25 DU/Acre	Gateway Village Center (GVC) and Gateway Business Center (GBC) all with a PAD; Multi-Family/Medium (MF/M) PAD	Vacant/Agricultural

Project Data Table

Site Development Regulations	**Required per Z18-20 and LDC**	**Proposed**
Floor Area Ratio	0.10-0.75	0.19
Minimum Building Height (ft.)/stories	15'/1	1 story
Maximum Building Height (ft.)/Stories	90'/6	19'- 10" (Amphitheater Height)
Minimum Building Setbacks (ft.)		
Front	0	0' (20' Pedestrian, Sidewalk, Landscape tract)
Side (Street)	0	0' (20'Pedestrian, Sidewalk, Landscape tract)
Side (Non-residential)	0	0
Rear (Nonresidential)	0	0
Build-to Line (ft.)		
Front	0	0
Side (Street)	**0**	0
Landscape- On-Site	Minimum 5% net lot area	35%
Storefronts and Access	40% for residential or office window, window displays,	To be reviewed in future phases

	and door coverage on ground floor.	
Building Transparency	View windows, window displays, or doors may be provided between 0 and 8 feet above grade adjacent to the principal building frontage on the ground floor.	To be reviewed in future phases
Driveway Restrictions	Arterial vehicular access is permitted at existing curb-cuts.	Arterial vehicular access is permitted at existing curb-cuts.
Parking Setback	Parking is permitted within the build-to-lines along Recker Road and Collector Road (A-A).	Parking is permitted within the build-to-lines along Recker Road and Collector Road (A-A).
Minimum height of separation wall to nonresidential zoning district or uses	No minimum height requirement	No walls aside from parking screen walls and trash enclosures proposed.

DISCUSSION

The project is currently in first review and therefore additional comments, beyond what are included in this report, may be brought forward for discussion during the study session meeting.

Site

All existing curb cuts along Recker and Williams Field Roads will provide access to the site. A future public road (West Cooley Loop) will be part of the first phase and two private roads will provide circulation through the site to parking areas. The two private roads will have angled and parallel on-street parking. Multiple pads are proposed for future buildings. Pads A, B1, E and F will front along Williams Field Road up to the build-to-line and will provide a strong visual and pedestrian relationship to the street with 1 and 2-story buildings. Pads B2, C/D and J will front along the north/south private road with Pads G/H/I located along the plaza. An Administrative Use Permit has been applied for to address shared parking on the site.

Landscape

The overall percentage of net landscaping on site is 35% exceeding the minimum 5% requirement for the GVC zoning district. The existing landscaping provided in the right-of-way will remain protected. Special paving treatments will be installed at site entrances and key access points. Seven tree species are proposed that include Fan-Tex Ash, Red Push Pistache, Cathedral Live Oak, Mexican Bird of Paradise, Sissoo, Evergreen Elm and Date Palms. Shrubs will consist of Desert Rueilia, Bougainvillea, Tuscan Blue Rosemary, Deer Grass, Compact Green Cloud Sage, Arizona Yellowbells, Bush Morning Glory and Trailing Lantana. The pedestrian corridor will have artificial turf for a children's play area with shade sails. An area called "The Green" with turf and an amphitheater for future events and concerts is centrally located. Raised planters and seat walls are provided in the plaza to encourage areas of public gathering. Tree wells are shown along sidewalks through the plaza, the corridor leads southwesterly through the site to be continued at a

minimum of 35' feet through future development sites leading to the future commuter rail station. Sidewalks are proposed throughout the site providing ample pedestrian connections to buildings and the public roads. Sidewalks in the plaza area will have varying concrete cuts to create different textures and pavers to enhance the experience. Overall, the landscape and hardscape layout for the plaza is intended to create a sense of place where people can gather for dining, events, and a connection to other sites that is separated from the vehicles.

Grading and Drainage
The proposed grading and drainage plan generally meets the requirements of the Town of Gilbert's Engineering Division. Multiple underground storage containers are proposed throughout the parking lot areas of the site and underground catch basins are located underneath "The Green". Due to recent changes in the grading and drainage of the overall Cooley Station area all sites are required to maintain on-site water and half-street water runoff.

Elevations, Colors and Materials
At this time, the only building proposed \ through this Design Review case is the amphitheater shade structure. Pad sites are provided for potential future development and "horizontal" improvements (grading and drainage, roads, landscaping). A color and materials palette along with conceptual elevations of buildings are provided in the Design Guidelines to show what is conceptually proposed on the future pad sites. The architecture vernacular will recognize the agricultural roots of Gilbert with ties to farmhouse motifs.

The design will be traditional with contemporary detailing and is proposed to be environmentally friendly incorporating elements of solar panels, low-water plants, trash compactors and charging stations for electric vehicles. The colors and materials package includes elevations with the various materials and features called out to get a sense of the architectural style and theme for the buildings. The materials include brick, stone veneer, and corrugated metal and standing seam metal roofs, perforated metal screens, reclaimed wood siding, hardie planks, and metal accents. The colors of buildings will consist of various shades of gray and beige along with white and more vibrant colors of red and orange. A silo landmark is proposed and canopies will be provided along buildings to create shade for pedestrians. Outdoor patios and amenities will be emphasized to create interaction with the pedestrian plaza. Public art is proposed along some of the future buildings.

The only structure included in this Design Review package are the amphitheater structure with shade sails in "The Green" plaza.

Lighting
The lighting proposed will include parking lot and pedestrian scale lighting. Lighting for buildings will be shown through future Design Review cases for the associated buildings. The parking lot lights are LED mounted at 25 feet high and the pedestrian scale lighting along sidewalks is mounted at 12 feet high. The pedestrian scale lighting is similar to the existing lighting improvements along the right-of-way. First review comments include locating light poles within landscaped areas. All site lighting will be required to comply with Town codes.

Signage
Signage is not included in this approval, a Master Sign Program is expected for a project of this character and scale. Administrative Design Review approval is required prior to permitting.

PUBLIC NOTIFICATION AND INPUT
The proposed project will require public notice as specified under Land Development Code (LDC) Section 5.602.A.3.

REQUESTED INPUT
1. Design Guidelines Package, colors and materials for buildings
2. Phasing Plan

Respectfully submitted,

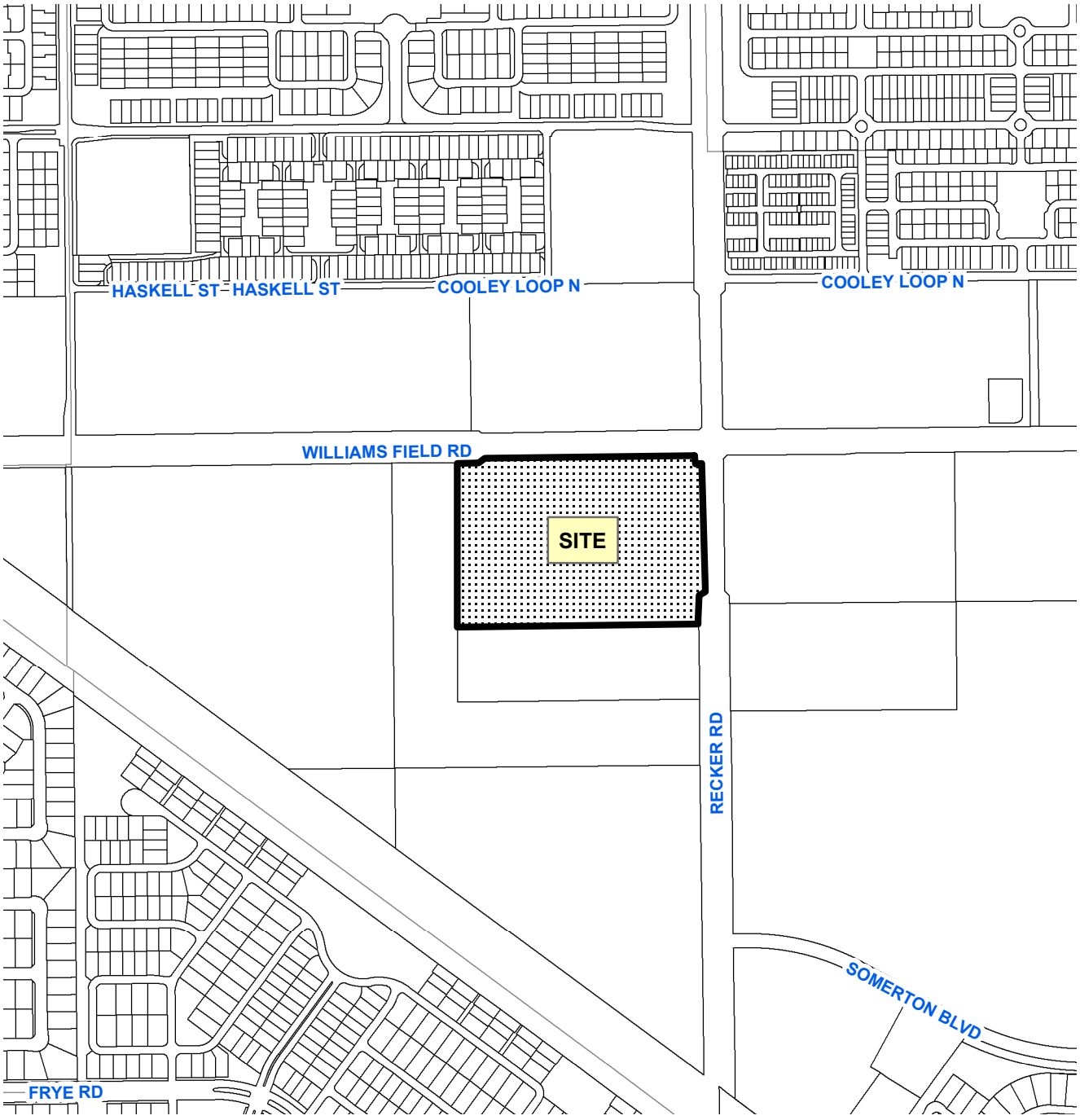
Stephanie Bubenheim
Planner II

Attachments and Enclosures:

1) Vicinity Map
2) Aerial Photo
3) Development Plan (for reference)
4) Site Plan and Details
5) Phasing Plan
6) Landscape
7) Grading and Drainage
8) Design Guideline Package
9) Lighting

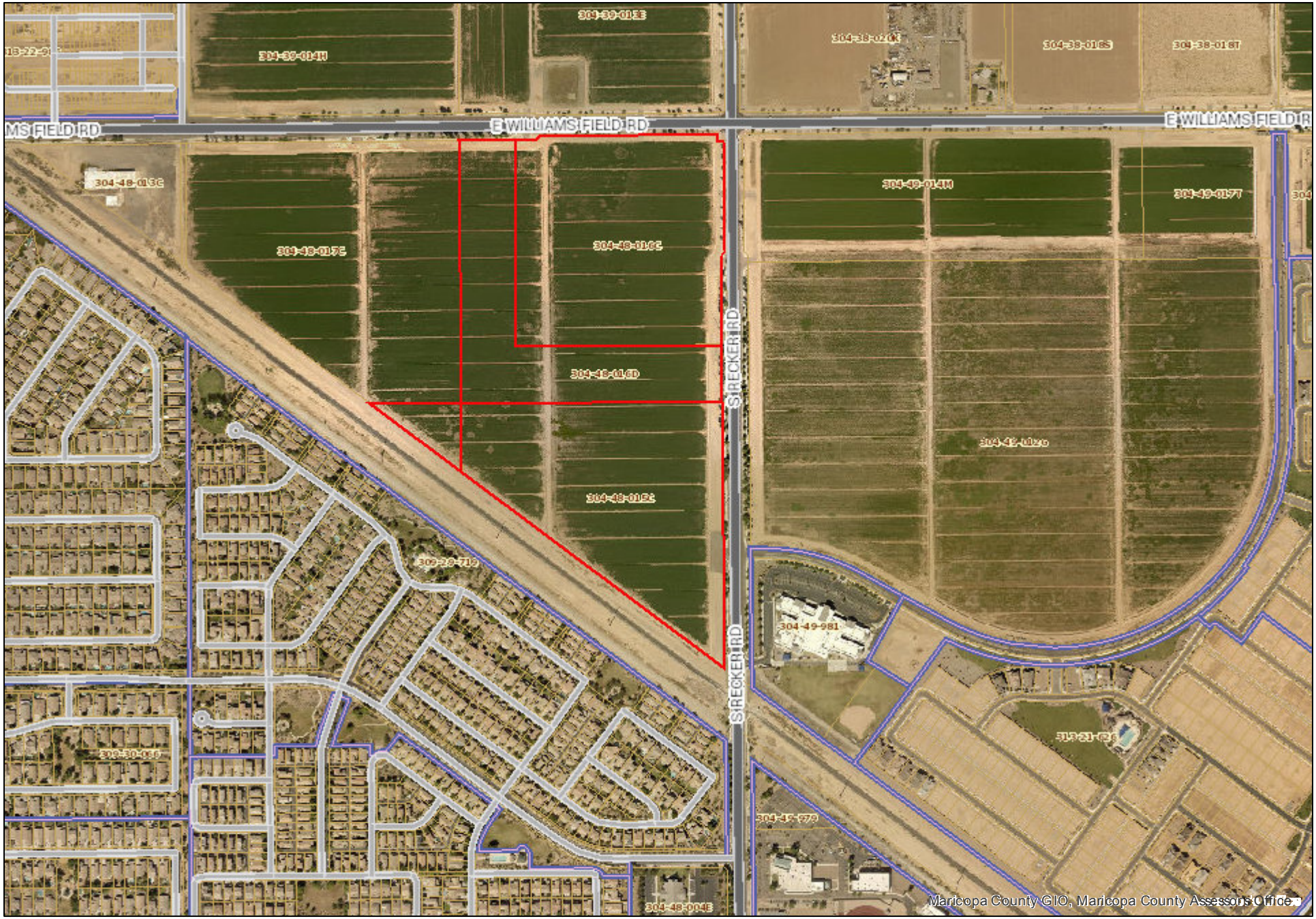
DR18-206 Verde at Cooley Station
Vicinity Map

SITE LOCATION:



DR18-206 Verde at Cooley Station
Attachment 2: Aerial Photo
January 9, 2019

Parcel Map



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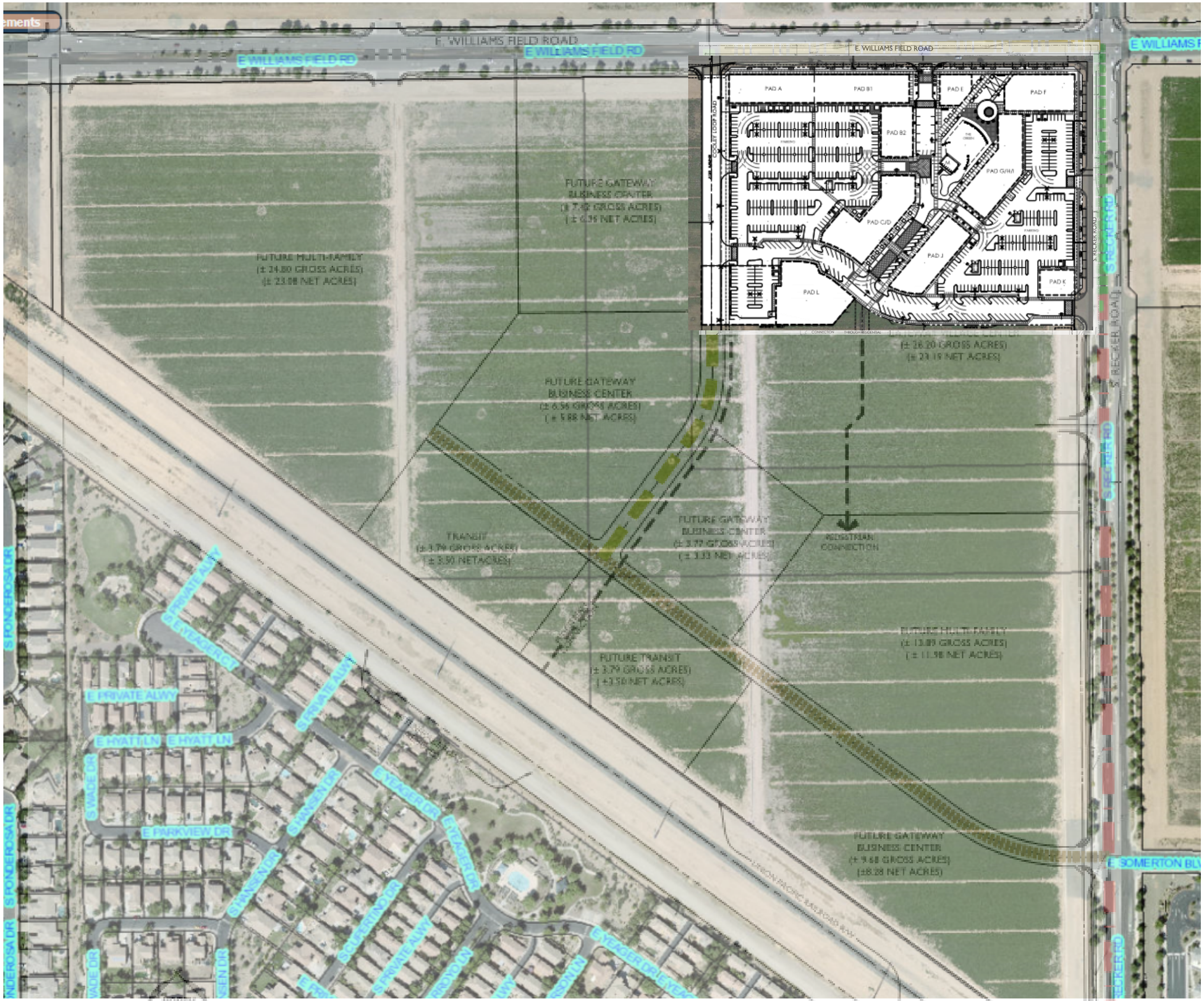
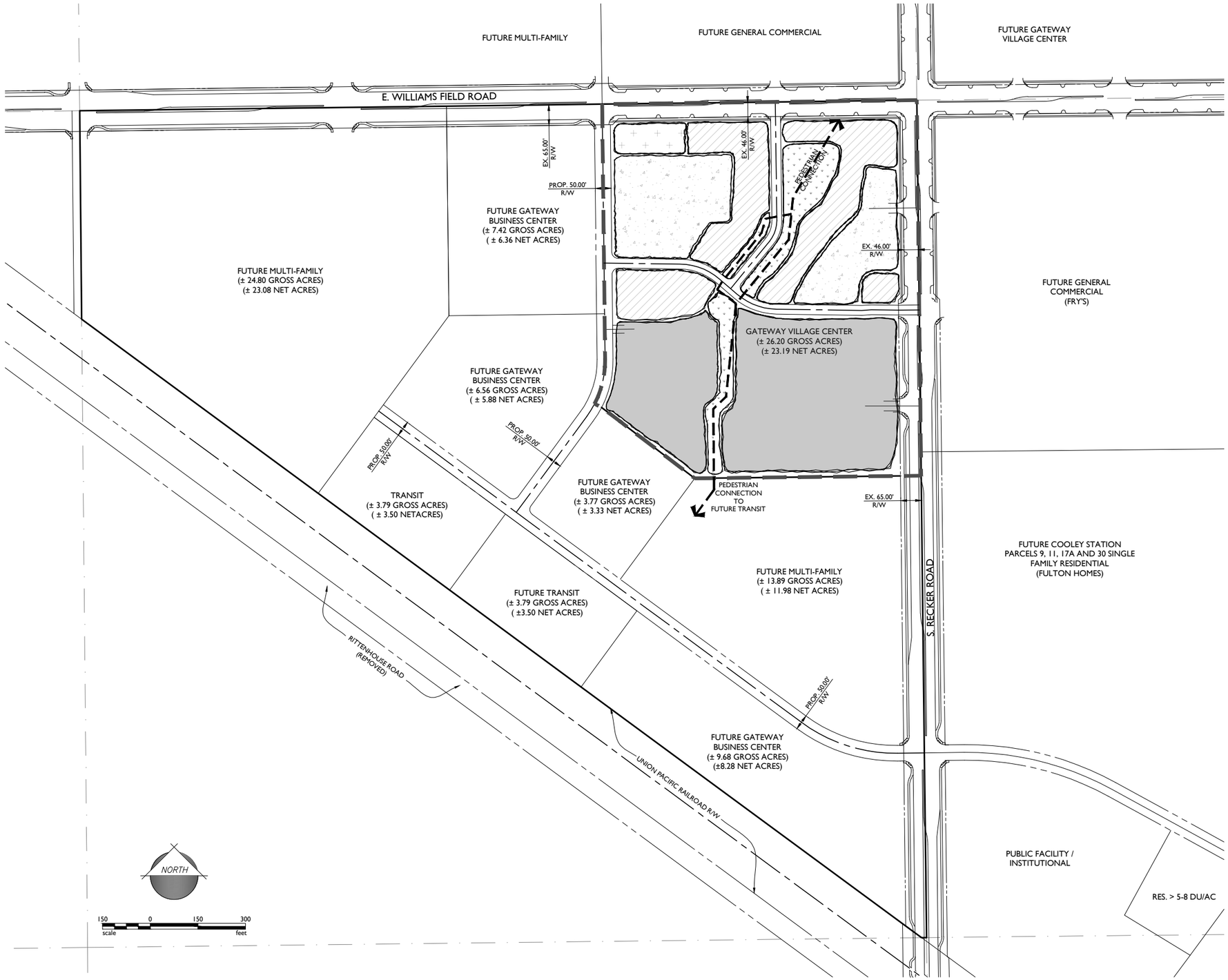
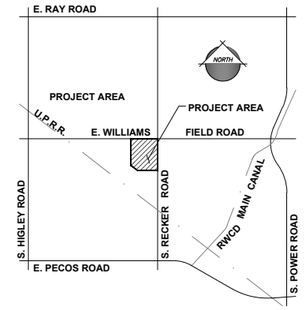

E WILLIAMS FIELD ROAD
E WILLIAMS FIELD RD
FUTURE MULTI-FAMILY
(± 24.80 GROSS ACRES)
(± 23.68 NET ACRES)
FUTURE GATEWAY
BUSINESS CENTER
(± 7.49 GROSS ACRES)
(± 6.36 NET ACRES)
FUTURE GATEWAY
BUSINESS CENTER
(± 6.56 GROSS ACRES)
(± 5.88 NET ACRES)
TRANSIT
(± 3.79 GROSS ACRES)
(± 3.50 NET ACRES)
FUTURE GATEWAY
BUSINESS CENTER
(± 3.77 GROSS ACRES)
(± 3.33 NET ACRES)
PEDESTRIAN
CONNECTION
FUTURE TRANSIT
(± 3.79 GROSS ACRES)
(±3.50 NET ACRES)
FUTURE MULTI-FAMILY
(± 13.89 GROSS ACRES)
(± 11.98 NET ACRES)
FUTURE GATEWAY
BUSINESS CENTER
(± 9.68 GROSS ACRES)
(±8.28 NET ACRES)
E. WILLIAMS FIELD ROAD
PAD A
PAD B1
PAD B2
PAD E
PAD F
PAD G/H/I
PAD C/D
PAD J
PAD K
PAD L
(± 16.20 GROSS ACRES)
(± 23.19 NET ACRES)
S RECKER ROAD
S RECKER RD
E SOMERTON BLVD
S PONDEROSA DR
E PRIVATE ALWY
E YEAGER DR
E HYATT LN
E PARKVIEW DR
S WADE DR
S SAWYER DR
S SCOTTSDALE DR
E PRIVATE ALWY
E YEAGER DR
E PRIVATE ALWY
E YEAGER DR
E SOMERTON BLVD
UNION PACIFIC RAILROAD
NORTH

DR18-206 Verde at Cooley Station
Attachment 3: Development Plan (for reference)
January 9, 2019

DEVELOPMENT PLAN
FOR
VERDE AT COOLEY STATION



VICINITY MAP
N.T.S.



SITE DATA

A.P.N.	304-48-016C; PORTIONS OF 3304-48-016D; 304-48-015C
CURRENT LAND USE:	AGRICULTURAL
GROSS AREA:	+/- 99.90 ACRES
NET AREA:	+/- 89.09 ACRES

LEGEND

- BOUNDARY OF VERDE AT COOLEY STATION
- OVERALL BOUNDARY
- PEDESTRIAN CONNECTION
- PROPOSED RIGHT OF WAY
- PROPOSED CENTER LINE
- MIXED USE
- MULTI-FAMILY
- THE GREEN / PEDESTRIAN CORRIDOR
- PARKING FIELD
- MEDICAL OFFICE

Multi-Family/Medium Residential District Site Development Regulations

Standards	Additional Regulations	MF/M	Parcel 5
Minimum Net Land Area per Unit (sq. ft.)		1,750	1,700 (*=25 du/ac)
Minimum Perimeter Building Setbacks (ft.)			
Front		30	8*
Side (Street & Residential)		30	10*
Side (Non-Residential)		20	10*
Rear (Residential)		30	10*
Rear (Non-Residential)		20	10*
Minimum Perimeter Landscape Area (depth in ft.)			
Front		20	5*
Side (Street)		20	5*
Rear		20	8*
Separation Between Buildings (ft.)			
Minimum Height of Separation Wall to Non-Residential Zoning District or Uses	See Section 4.109.A.2.b		No Minimum Height Requirement

*If not adjacent to arterial or collector as noted, then the Land Development Code applies.

GVC LDC DEVELOPMENT STANDARDS	GVC VERDE AT COOLEY STATION
STOREFRONTS AND ACCESS (LCD TABLE 2.804)	DECREASED PERCENTAGE FOR RESIDENTIAL UNIT WINDOW, WINDOW DISPLAYS, AND DOOR COVERAGE TO 40% ON GROUND FLOOR.
BUILDING TRANSPARENCY (LDC TABLE 2.804)	GROUND-FLOOR VIEW WINDOWS, WINDOW DISPLAYS, OR DOORS MAY BE PROVIDED BETWEEN 0 AND 8 FEET ABOVE GRADE ADJACENT TO THE PRINCIPLE BUILDING FRONTAGE.
DRIVEWAY RESTRICTIONS (LDC TABLE 2.804)	ARTERIAL ACCESS IS PERMITTED AT EXISTING CURB-CUTS.
PARKING SETBACK (LDC TABLE 2.804)	PARKING IS PERMITTED WITHIN THE BUILD TO-LINES ALONG RECKER ROAD AND (A-A).
MINIMUM HEIGHT OF SEPARATION WALL TO NONRESIDENTIAL ZONING DISTRICT OR USES (LDC - 4.109.A.2.(b))	NO MINIMUM HEIGHT REQUIREMENT.

EPS GROUP
2045 S. Vineyard
Mesa, AZ 85210
T 480.503.2250 | |
w w w . e p s g r o

Project: VERDE AT COOLEY STATION
GILBERT, AZ

DEVELOPMENT PLAN

Revisions:
- APRIL 24, 2018 - PRE-APPLICATION SUBMITTAL
- JULY 2, 2018 - 1ST ZONING & GPA SUB.
- SEPTEMBER 11, 2018 - 2ND ZONING & GPA SUB.
- OCTOBER 30, 2018 - 3RD ZONING & GPA SUB.
- NOVEMBER 28, 2018 - 3RD ZONING & GPA SUB.

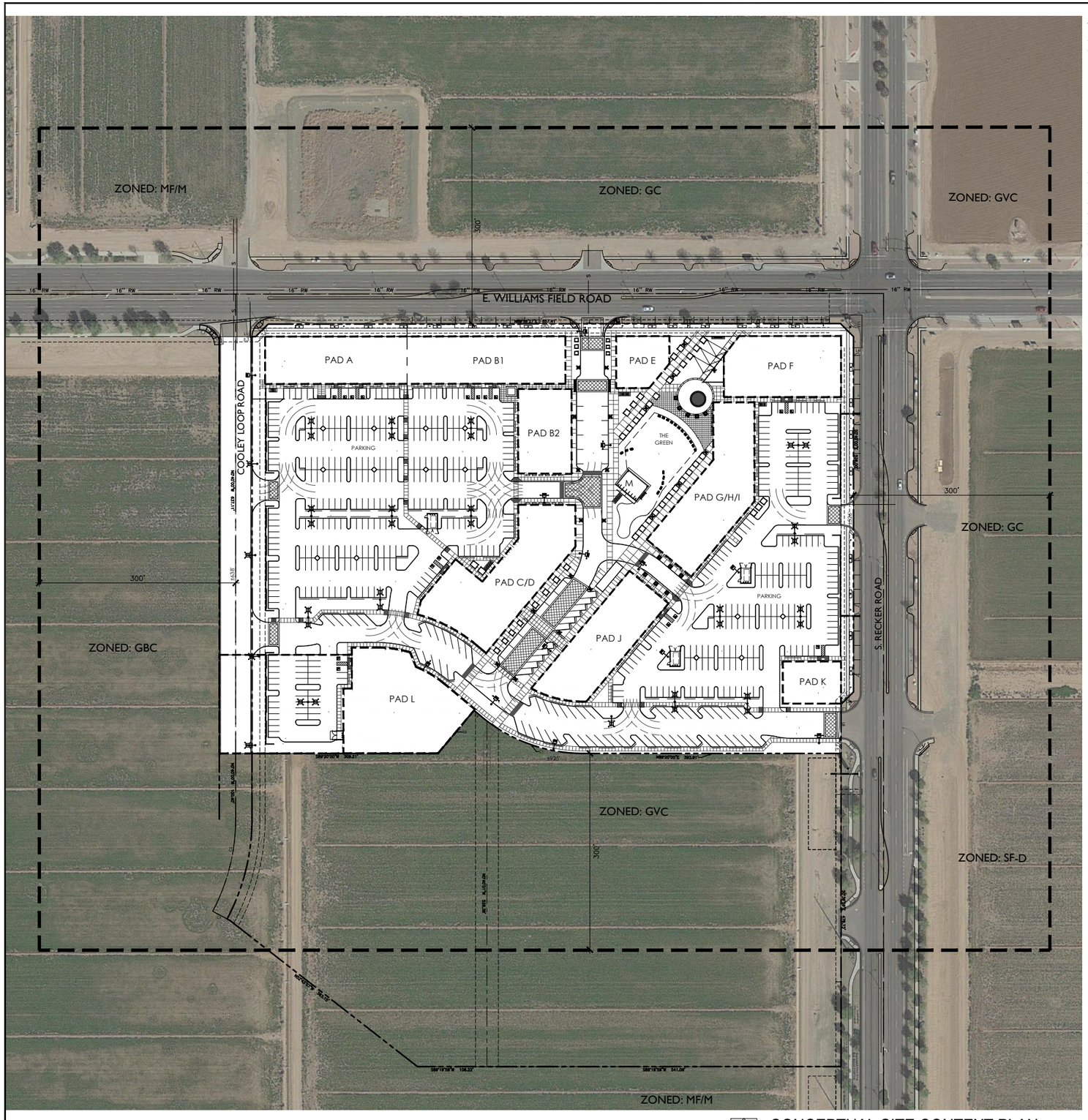
Call at least two full working days before you begin excavation. ARIZONA811 Dial 8-1-1 or 1-800-STAKE-IT (782-5348) In Maricopa County (602) 263-1100

Designer: BAN
Drawn by: BAN

Preliminary Not For Construction Or Recording

Job No. 18-147
DV01
Sheet No. 1 of 1

18-147
Dec. 26, 2018, 10:12am S:\Projects\2018\18-147\Planning\Zoning & GPA\Exhibits\18-147 - Development Plan.dwg
ngriffin



DR18-206 Verde at Cooley Station
Attachment 4: Site Plan and Details
January 9, 2019

CONCEPTUAL SITE CONTEXT PLAN

NORTH

SCALE: 1" = 80'-0"

20' 80' 320'

0' 40' 160'

PROJECT INFORMATION

PROJECT NAME:	VERDE AT COOLEY STATION
PROJECT LOCATION:	SWC WILLIAMS FIELD RD & RECKER RD GILBERT, AZ
ARCHITECT:	DLR GROUP 6225 N 24TH STREET, SUITE 250 PHOENIX, AZ 85016 PHONE: 602-381-8580 CONTACT: TIM THIELKE
ASSESSOR'S PARCEL NUMBER:	304-48-016C
CURRENT LAND USE:	AGRICULTURAL
PROPOSED USE:	OFFICE/RETAIL/RESTAURANT
EXISTING ZONING:	GVC
GROSS SITE AREA:	± 15.85 ACRES (± 690,316 S.F.)
NET SITE AREA:	± 13.68 ACRES (± 596,052 S.F.)
PROPOSED BUILDING AREA:	± 141,285 S.F. (GROSS)
LOT COVERAGE:	± 23.87% (141,285 SF / 596,052 SF)
LOT F.A.R.:	± .19 (114,097 SF / 596,052 SF)
LANDSCAPE AREA:	± 211,610 S.F. (± 4.86 ACRES)
LANDSCAPE COVERAGE:	± 35.5% (211,610 SF / 596,052 SF)

PROPOSED USES:

A. 1ST FLR MEDICAL OFFICE	+/- 12,876 SF
2ND FLR MEDICAL OFFICE	+/- 12,876 SF
B1. RETAIL	+/- 14,386 SF
B2. RETAIL	+/- 6,484 SF
RESTAURANT	+/- 1,500 SF
C. RETAIL	+/- 6,452 SF
RESTAURANT	+/- 3,500 SF
D. FITNESS	+/- 8,298 SF
E. RETAIL	+/- 4,000 SF
RESTAURANT	+/- 1,067 SF
F. 1ST FLOOR RETAIL	+/- 14,312 SF
2ND FLOOR OFFICE	+/- 14,312 SF
G. RESTAURANT	+/- 3,305 SF
H. RESTAURANT	+/- 4,947 SF
I. RESTAURANT	+/- 5,088 SF
J. RETAIL	+/- 9,855 SF
RESTAURANT	+/- 3,500 SF
K. RESTAURANT	+/- 4,527 SF
L. DAYCARE	+/- 10,000 SF
TOTAL	+/- 141,285 SF

NORTH

VICINITY MAP

SCALE: N.T.S.

PARKING REQUIREMENTS:

RETAIL:	1 SPACE PER 250 S.F.
GENERAL OFFICE:	1 SPACE PER 250 S.F.
MEDICAL OFFICE:	1 SPACE PER 150 S.F.
DAYCARE:	1 SPACE PER 300 S.F.
FITNESS:	1 SPACE PER 150 S.F.
RESTAURANT:	1 SPACE PER 100 S.F. INDOOR 1 SPACE PER 400 S.F. OUTDOOR

PARKING	SQ.FT	REQUIRED	PROVIDED
MEDICAL OFFICE	25,752 SF	172	
GENERAL OFFICE	14,312 SF	57	
RETAIL	55,489 SF	222	
RESTAURANT	27,434 SF	274	
RESTAURANT PATIO	7,200 SF	18	
FITNESS	8,298 SF	56	
DAYCARE	10,000 SF	33	
TOTAL		832	645
ADA PARKING SPACES (@2%)		13	17
BICYCLE PARKING SPACES (@1:10 SPACES)		64	70

STANDARD COMMERCIAL & INDUSTRIAL SITE PLAN NOTES

1. All utility lines less than 69 KV on or contiguous to the site shall be installed or relocated underground.
2. All trash enclosures shall include fully opaque screening gates, finished and painted to match the enclosure. Screening gates shall not open into vehicular drive aisles. Trash enclosures are not required in industrial districts if located inside an enclosed yard which is screened by a perimeter wall at least 6 feet in height.
3. All outdoor storage areas for storage of materials and equipment shall be fully screened from view by a 6' solid masonry wall. Industrial storage screen walls shall be finished where they are exposed to public view from streets or adjacent non-industrial uses.
4. S.E.S. panels and any other above ground utility cabinet shall be fully screened from view from streets or from areas accessible to customers and the general public. Screening may be accomplished by any one of the following methods:
   a. Fully recessing the cabinet into the building and enclosing it by a solid door or doors separate from the cabinet;
   b. Screening with a decorative masonry wall of the same height as the panel. The screen wall may be L-shaped, U-shaped or a straight wall parallel to the cabinet, depending on the location of the cabinet;
   c. An alternative screening method approved by the Planning Department prior to issuance of any permits.
5. The location of all electrical utility equipment shall be identified on the construction plans.
6. Roof-mounted mechanical equipment shall be fully screened by either one of the following methods:
   a. The parapet wall of the building shall equal or exceed the height of the mechanical units, or;
   b. By locating the mechanical equipment behind the roof planes in the case of mansard, hip or other than flat roof.
7. Roof mounted mechanical equipment enclosures or equipment screen walls shall not project above the roof parapet. To the extent permitted by law, satellite dishes shall be fully screened by a parapet wall.
8. Ground mounted mechanical equipment shall be fully screened from view (from streets or surrounding commercial uses) by a combination of decorative walls and an evergreen vegetative hedge equal to or exceeding the height of the equipment.
9. Pneumatic tubes, whether metal or plastic, shall be either:
   a. Enclosed in pilasters, columns or other architectural features of the canopy or building, or;
   b. Routed underground.
10. All backflow prevention devices 2" or larger shall be screened with landscape located within a 6' radius of the device. All backflow preventers less than 2" shall be placed in a wire cage painted to match the primary building color.
11. All freestanding light poles shall:
    a. Be located within landscaped areas or planter islands.
    b. Have concrete bases painted to match the primary building color or finished to match parking screen walls. Concrete bases for light poles shall not exceed a height of 30" from adjacent grade.
    c. Be located to avoid conflict with trees.
12. Site lighting shall comply with the light and glare criteria set forth in Section 4.103 of the LDC, including a maximum freestanding light fixture height of 25'.
13. Landscaped areas adjacent to public right-of-way shall be mounded and naturally contoured. No more than 50% of the required (right-of-way and landscaping tracts) landscaping fronting adjacent streets may be used for retention. Retention area side slopes shall be varied, and no slope shall exceed a 4:1 maximum.
14. Commercial building downspouts shall be internalized. Industrial buildings may use exposed downspouts if articulated with the architecture of the building and built with a durable material such as steel.
15. Commercial development vehicular access points and pedestrian access ways shall include special paving treatment such as integral colored stamped concrete, Boamanite, or similar alternative. Location and material shall be reviewed and approved by the Planning Department prior to the issuance of a building permit.
16. Customer, employee and visitor parking shall be screened from street view by low masonry walls. The parking screen walls shall be finished on both sides using the same materials and colors, and a design to complement that of the main building.
17. All exterior metal shall be finished or painted to match the approved project colors.
18. Existing on-site plant material damaged during construction shall be replaced with comparable species and size.

STANDARD FIRE DEPARTMENT NOTES

1. Construction within the Town of Gilbert shall comply with the 2012 International Fire Code (IFC) as amended and adopted by fire code sub-sections 10-37-1, 10-37-2, and 2012 Fire Code Interpretations & Regulations
2. The applicant is responsible to identify and coordinate deferred submittals.
3. Plans and specifications for fire alarm systems, automatic fire extinguishing systems, and standpipes shall be submitted to the Permitting & Plan Review Department for review and approval prior to installation.
4. A Knox Box is required at every fire sprinkler riser room. When rapid access would be compromised by long travel distances, Knox Boxes shall be required at other locations at the discretion of the Fire Offical. Refer to 2012 Fire Code Interpretations & Regulations 12-506.1 Key Boxes.

GENERAL FIRE DEPARTMENT ACCESS:

5. Approved fire apparatus access roads shall be provided for every facility, building or portion of a building constructed or moved within Gilbert's jurisdiction.
6. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. The route is to be measured around the building as the fire hose would be laid and shall be approved by the Fire Plans Examiner.
7. Apparatus access roads shall have a minimum unobstructed width or 20 feet (foc).
8. A minimum vertical clearance of 13'6" shall be provided for the apparatus access roads.
9. Dead-end fire apparatus access roads in excess of 150 feet in length shall be provided with an approved means for turning the apparatus around. Fire apparatus turning radius is 35 feet inside and 55 feet outside (foc).
10. Fire lanes shall be marked by signs per TOG Detail #63 and/or curb painted red and labeled "FIRE LANE NO PARKING". Refer to 2012 Fire Code Interpretations & Regulations 12-D103.6 Fire Lanes.
11. Fire apparatus access roads shall have a maximum grade of :
    a. 0-6% grade ABC 6" 95% compaction
    b. 6-10% grade concrete asphalt, 4" or more
    c. Grades steeper than 10% shall be approved by the Fire Official.

FIRE HYDRANT REQUIREMENTS:

12. The minimum number of fire hydrants shall not be less than required per Appendix C in the IFC.
13. A fire hydrant shall be located within 150' of the fire department connection (FDC). The route is to be measured as the fire hose would be laid out and shall be approved by the Fire Plans Examiner.
14. A 3-foot clear space shall be maintained around the circumference of all fire hydrants

GENERAL FIRE SPRINKLER REQUIREMENTS:

15. Plans and specifications for fire sprinkler systems exceeding 19 heads submitted for review shall be sealed by a qualified Arizona Registrant in fire sprinkler design. The installing contractor's name, address and phone number are to be included on the drawings and calculations submitted for review and approval. As-built drawings will be required where field changes are made to the designed drawings. When piping and/or sprinkler heads are added to initial sprinkler system installations, updated calculations will be required.
16. Fire sprinklers shall be installed in accordance with the current NFPA referenced standards and the Town of Gilbert sprinkler ordinance.
17. The fire sprinkler riser room shall comply with Town of Gilbert fire code amended Section 901.4.6.
18. Fire department inlet connections (FDC) shall be located on the address side or natural approach of the building it serves and shall identify the building(s) served with a permanent sign.
19. Fire hose threads and fittings used in connection with automatic sprinkler systems shall National Standard Thread.
20. Control valves and water flow switches for automatic sprinkler systems shall be electrically monitored where the number of sprinkler heads exceeds 19, IFC Section 903.4.
21. An exterior fire sprinkler system alarm bell shall be mounted above the fire riser room door.

GENERAL FIRE ALARM REQUIREMENTS:

22. Plans and specifications for fire alarm systems submitted for review shall be sealed by a qualified Arizona Registrant in fire alarm system design. The installing contractor's name, address and phone number are to be included on the drawings and calculations submitted for review and approval. As-built drawings will be required where field changes are made to the designed drawings. When additional wiring and devices are added to fire alarm systems, updated voltage drop and battery calculations will be required.
23. Fire Alarm Requirements for Non-separated Mixed Occupancies: Occupancies that depend on occupant load criteria to determine when a fire alarm system is required shall use the total building occupant load using the most restrictive occupancy classification and extend the fire alarm system to all occupied areas of that building in accordance with applicable code and standard. The fire alarm requirements shall be based on the most restrictive fire protection system requirement of IFC Chapter 9.
24. Alarm initiating devices, alarm signaling devices and other fire alarm system components shall be designed and installed in accordance with 2012 IFC and current NFPA referenced standards.
25. Duct smoke detectors that are concealed from view, installed more than 10 feet above finished floor or in arrangements where the detectors alarm indicator is not readily visible to responding personnel it shall have a visible and audible supervisory signaling device at the ceiling level or sight obstruction at each detector. Duct smoke detectors shall be connected to the building's fire alarm control unit when a fire alarm system is required.

FIRE SAFETY DURING CONSTRUCTION:

26. An all-weather access road designed to support the imposed load of fire apparatus weighing up to 85,000 pounds shall be installed and maintained at all times. Sites shall have two points of access or as indicated at plan review or by the Fire Inspector. Unpaved surfaces shall have a minimum ABC 6" depth compaction to 95% and 20' wide. No vehicle parking or building material off-loading allowed on the emergency access road. Fire land signs are required to be posted along the road.
27. Signs shall be posted at each required street entrance indicating emergency vehicle entrance, the project name, the project address and an emergency contact number of a company representative.
28. The sign shall be a minimum of 24" high x 36" wide with white reflective background and 3" red reflective letters.
29. All site hydrants shall be installed and accepted by the Town Engineering Department prior to combustible materials being delivered to the construction site.
30. Temporary dead end fire apparatus access roads in excess of 150 feet in length shall be provided with an approved means for turning the apparatus around.
31. Fire hydrants provided during construction shall be located along the fire apparatus access roadway.
32. Fire hydrants provided during construction shall be protected from vehicular damage.

PRELIMINARY PRINT
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CONCEPTUAL SITE CONTEXT PLAN
Verde at Cooley Station
Gilbert, Arizona

AS1.0
30-18164-00
11-20-18

Westlake Reed Leskosky

DLR Group

Architecture Engineering Planning Interiors

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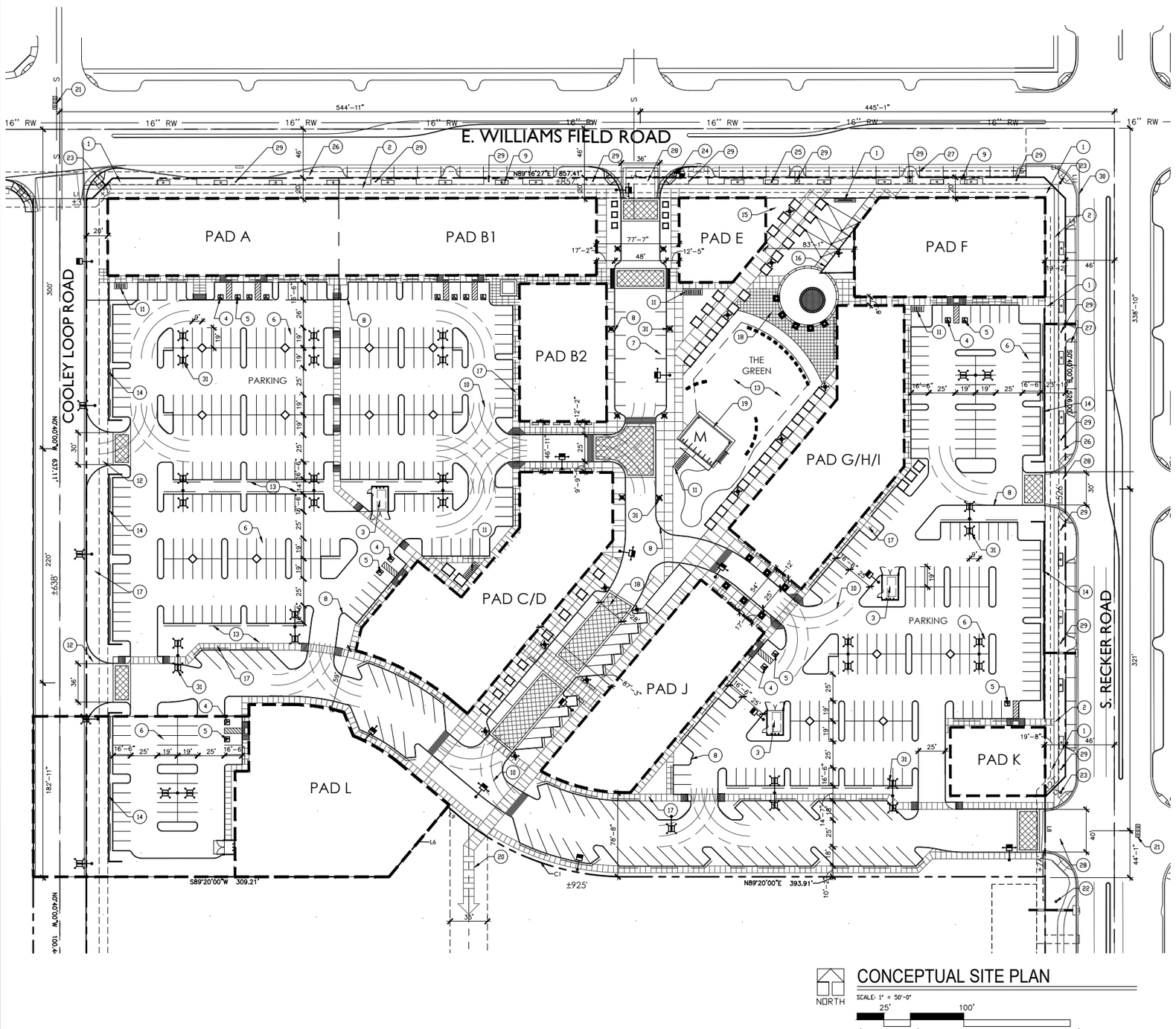


CONCEPTUAL SITE PLAN

SCALE: 1" = 50'-0"

NORTH

0' 50' 100' 200'

PROJECT INFORMATION

PROJECT NAME:	VERDE AT COOLEY STATION
PROJECT LOCATION:	SWC WILLIAMS FIELD RD & RECKER RD GILBERT, AZ
ARCHITECT:	DLR GROUP 6225 N 24TH STREET, SUITE 250 PHOENIX, AZ 85016
PHONE: 602-381-8580	CONTACT: TIM THIELKE
ASSESSOR'S PARCEL NUMBER:	304-48-016C
CURRENT LAND USE:	AGRICULTURAL
PROPOSED USE:	OFFICE/RETAIL/RESTAURANT
EXISTING ZONING:	GVC
GROSS SITE AREA:	± 15.85 ACRES (± 690,316 S.F.)
NET SITE AREA:	± 13.68 ACRES (± 596,052 S.F.)
PROPOSED BUILDING AREA:	± 141,285 S.F. (GROSS)
LOT COVERAGE:	± 23.87% (141,285 SF / 596,052 SF)
LOT F.A.R.:	± .19 (114,097 SF / 596,052 SF)
LANDSCAPE AREA:	± 211,610 S.F. (± 4.86 ACRES)
LANDSCAPE COVERAGE:	± 35.5% (211,610 SF / 596,052 SF)

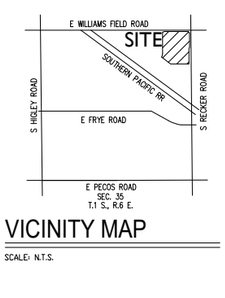
PROPOSED USES:

A. 1ST FLR MEDICAL OFFICE	+/- 12,876 SF
2ND FLR MEDICAL OFFICE	+/- 12,876 SF
B1. RETAIL	+/- 14,386 SF
B2. RETAIL	+/- 6,484 SF
RESTAURANT	+/- 1,500 SF
C. RETAIL	+/- 6,452 SF
RESTAURANT	+/- 3,500 SF
D. FITNESS	+/- 8,298 SF
E. RETAIL	+/- 4,000 SF
RESTAURANT	+/- 1,067 SF
F. 1ST FLOOR RETAIL	+/- 14,312 SF
2ND FLOOR OFFICE	+/- 14,312 SF
G. RESTAURANT	+/- 3,305 SF
H. RESTAURANT	+/- 4,947 SF
I. RESTAURANT	+/- 5,088 SF
J. RETAIL	+/- 9,855 SF
RESTAURANT	+/- 3,500 SF
K. RESTAURANT	+/- 4,527 SF
L. DAYCARE	+/- 10,000 SF
TOTAL	+/- 141,285 SF

PARKING REQUIREMENTS:

RETAIL:	1 SPACE PER 250 S.F.
GENERAL OFFICE:	1 SPACE PER 250 S.F.
MEDICAL OFFICE:	1 SPACE PER 150 S.F.
DAYCARE:	1 SPACE PER 300 S.F.
FITNESS:	1 SPACE PER 150 S.F.
RESTAURANT:	1 SPACE PER 100 S.F. INDOOR
	1 SPACE PER 400 S.F. OUTDOOR

PARKING	SQ.FT	REQUIRED	PROVIDED
MEDICAL OFFICE	25,752 SF	172	
GENERAL OFFICE	14,312 SF	57	
RETAIL	55,489 SF	222	
RESTAURANT	27,434 SF	274	
RESTAURANT PATIO	7,200 SF	18	
FITNESS	8,298 SF	56	
DAYCARE	10,000 SF	33	
TOTAL		832	645
ADA PARKING SPACES (@2%)		13	17
BICYCLE PARKING SPACES (@1:10 SPACES)		64	70



VICINITY MAP

NORTH

SCALE: N.T.S.

LEGEND NOTES

1. PROPOSED MONUMENT SIGN LOCATION. ALL SIGNAGE TO BE PROCESSED UNDER SEPARATE REVIEW AND PERMIT.
2. EXISTING SIDEWALK TO REMAIN.
3. TRASH COMPACTOR WITH 8' HIGH MASONRY ENCLOSURE, PAINTED TO MATCH ADJACENT BUILDING COLOR. – SEE DETAIL S4/AS1.3
4. 11'x18' VAN ACCESSIBLE PARKING STALL WITH ACCESSIBLE AISLE ON PASSENGER SIDE. (TYP.)
5. 11'x18' ACCESSIBLE PARKING STALL WITH ACCESSIBLE AISLE. (TYP.)
6. 9'x18' STANDARD PARKING STALL. (TYP.)
7. 10'x22' PARALLEL PARKING STALL. (TYP.)
8. 6" CONCRETE CURB. (TYP.)
9. ELECTRICAL TRANSFORMER LOCATION. TRANSFORMER TO BE SCREENED BY LANDSCAPING.
10. TOWN OF GILBERT EMERGENCY TURNING RADIUS, 45' CENTERLINE, 20' WIDE LANE. (TYP.)
11. BICYCLE RACK LOCATION. (TYP.)
12. CURB CUT AND ACCESSIBLE CURB RETURNS.
13. LANDSCAPE / RETENTION AREA.
14. SCREEN WALL – REFER TO COOLEY STATION DESIGN GUIDELINES.
15. PATIO.
16. RAISED PLANTER.
17. STANDARD GRAY CONCRETE SIDEWALK. (TYP.)
18. DECORATIVE PAVING.
19. AMPHITHEATER.
20. FUTURE TRAIL CONNECTION.
21. FUTURE TRAFFIC SIGNAL.
22. EXISTING POWER POLE TO REMAIN.
23. EXISTING STREET LIGHT TO REMAIN.
24. EXISTING FIRE HYDRANT.
25. EXISTING LANDSCAPE. (TYP.)
26. EXISTING HARDSCAPE.
27. EXISTING R.O.W. IMPROVEMENTS.
28. EXISTING CURB CUT AND ACCESSIBLE CURB RETURNS.
29. EXISTING PEDESTRIAN STREET LIGHT TO REMAIN.
30. EXISTING R.O.W. TO BE DEDICATED.
31. LIGHT FIXTURE – TYP. – REFER TO ELECTRICAL DRAWINGS.

PRELIMINARY PRINT
11-20-18
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CONCEPTUAL SITE PLAN
Verde at Cooley Station
Gilbert, Arizona

AS1.1
30-18164-00
11-20-18

Westlake Reed Leskosky
Architecture Engineering Planning Interiors

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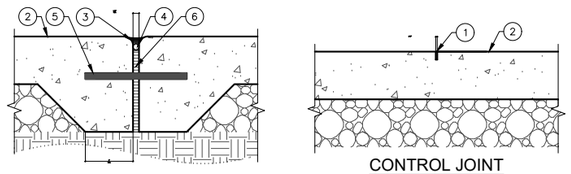


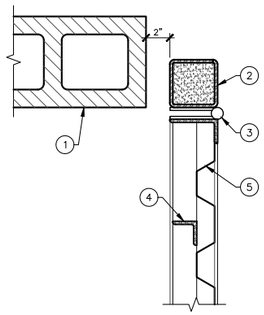
EXPANSION JOINT

CONTROL JOINT

1. SAWCUT CONTINUOUS EACH SIDE – 1/3 THE DEPTH OF SLAB.
2. CONCRETE SLAB & SUBSTRATE.
3. SMALL RADIUS TOOLED JOINT.
4. PROVIDE CONTINUOUS SEALANT & BACKER ROD TO MATCH ADJACENT HARDSCAPE, TYP.
5. SMOOTH WRAPPED DOWEL @ 24" O.C. TYP.
6. 1/2" PREMOLDED EXPANSION MATERIAL.

31 AS1.3 CONTROL / EXPANSION JOINTS - TYP.

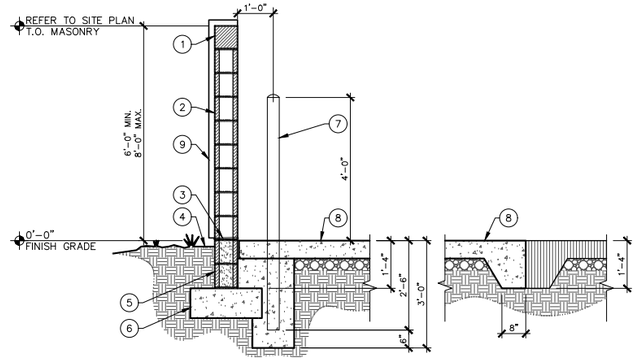
SCALE: 2" = 1'-0"



1. 8"x8"x16" C.M.U.
2. (FOR LEAF SPANS OF 6'-0" OR LESS) 4"x4"x1/4" TUBE STEEL POST W/ 3'-0" EMBENDMENT IN 2'-0"ø CONCRETE BASE. (FOR LEAF SPANS > 6'-0" BUT < THAN 10'-0") 6"x6"x1/4" TUBE STEEL POST W/ 3'-6" EMBEDMENT IN 2'-4"ø CONCRETE BASE. (FOR LEAF SPANS > 10'-0") 8"x8"x1/4" TUBE STEEL POST W/ 4'-0" EMBEDMENT IN 2'-8"ø CONCRETE BASE. FILL W/ CONCRETE & WITH DOMED CAP. PAINT TO MATCH TRASH ENCLOSURE.
3. (3) HEAVY DUTY HINGES WELDED TO FRAME AND TUBE. PAINT TO MATCH ADJ. SURFACE.
4. 2"x2"x1/4" "L" DIAGONAL BRACING.
5. 1-3/8" CORRUGATED STEEL DECKING. WELDED TO FRAME. PAINT TO MATCH ADJACENT SURFACE.

33 AS1.3 REFUSE ENCLOSURE GATE DETAIL - TYP.

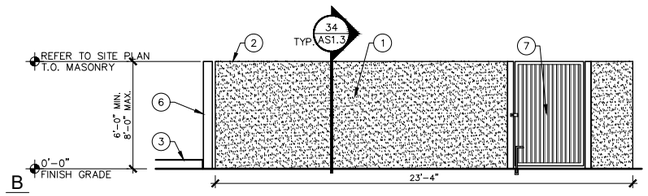
SCALE: 2" = 1'-0"

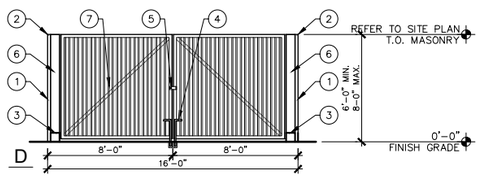


1. 8"x8"x16" SOLID CAP CMU BLOCK.
2. 8"x8"x16" C.M.U. WALL.
3. 5/8" DIA. WEEP HOLES @ 2'-0" O.C. AS REQ'D FOR DRAINAGE. – SEE CIVIL DRAWINGS.
4. FINISH GRADE.
5. GROUT CMU SOLID BELOW GRADE.
6. CONCRETE FOOTING.
7. 4" DIA. STEEL PIPE, GROUT SOLID, CROWN TOP – PAINT TO MATCH GATE.
8. 6" THK. REINFORCED CONC. PAD W/ 6"x6"–1.4w–1.4w WELDED WIRE FABRIC ON 4" A.B.C.
9. STUCCO PAINTED VIRTUAL TAUPE (SW7039)

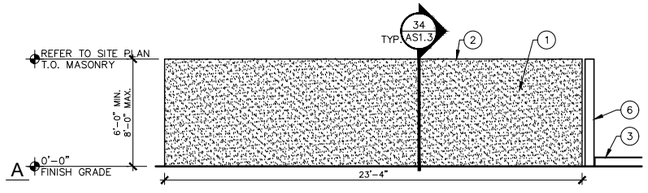
34 AS1.3 WALL SECTION @ REFUSE ENCLOSURE - TYP.

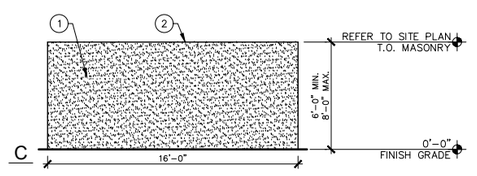
SCALE: 1/2" = 1'-0"





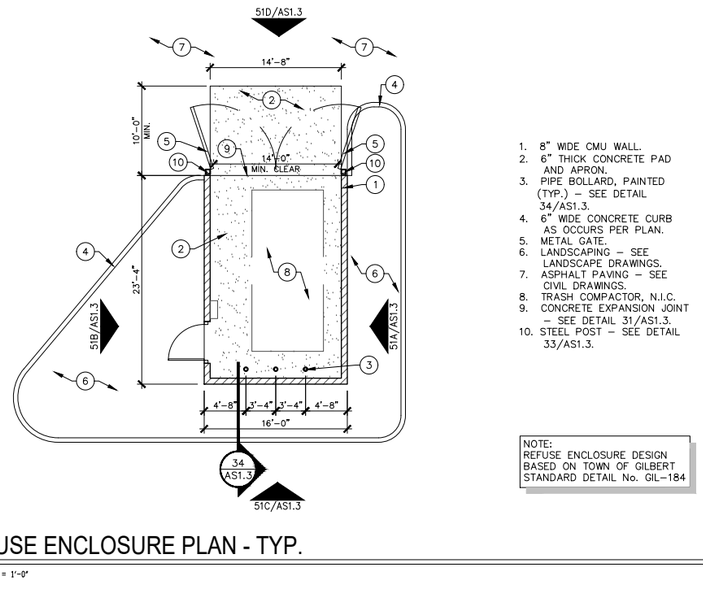
1. 8"x8"x16" WIDE C.M.U. COVERED WITH STUCCO PAINTED VIRTUAL TAUPE (SW7039)
2. 8"x8"x16" SOLID CAP BLOCK COVERED WITH STUCCO PAINTED VIRTUAL TAUPE (SW7039).
3. 6" WIDE CONCRETE CURB – SEE SITE PLAN FOR LOCATIONS.
4. CANE BOLTS.
5. PROVIDE HASP FOR PADLOCK.
6. STEEL POST – SEE DETAIL 33/AS1.3.
7. METAL GATE – SEE DETAIL 33/AS1.3.





51 AS1.3 REFUSE ENCLOSURE ELEVATIONS - TYP.

SCALE: 1/4" = 1'-0"



1. 8" WIDE CMU WALL.
2. 6" THICK CONCRETE PAD AND APRON.
3. PIPE BOLLARD, PAINTED (TYP.) – SEE DETAIL 34/AS1.3.
4. 6" WIDE CONCRETE CURB AS OCCURS PER PLAN.
5. METAL GATE.
6. LANDSCAPING – SEE LANDSCAPE DRAWINGS.
7. ASPHALT PAVING – SEE CIVIL DRAWINGS.
8. TRASH COMPACTOR, N.I.C.
9. CONCRETE EXPANSION JOINT – SEE DETAIL 31/AS1.3.
10. STEEL POST – SEE DETAIL 33/AS1.3.

NOTE:
REFUSE ENCLOSURE DESIGN BASED ON TOWN OF GILBERT STANDARD DETAIL No. GIL-184

54 AS1.3 REFUSE ENCLOSURE PLAN - TYP.

SCALE: 1/8" = 1'-0"

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CONCEPTUAL SITE DETAILS
Verde at Cooley Station
Gilbert, Arizona

AS1.3
30-18164-00
11-20-18

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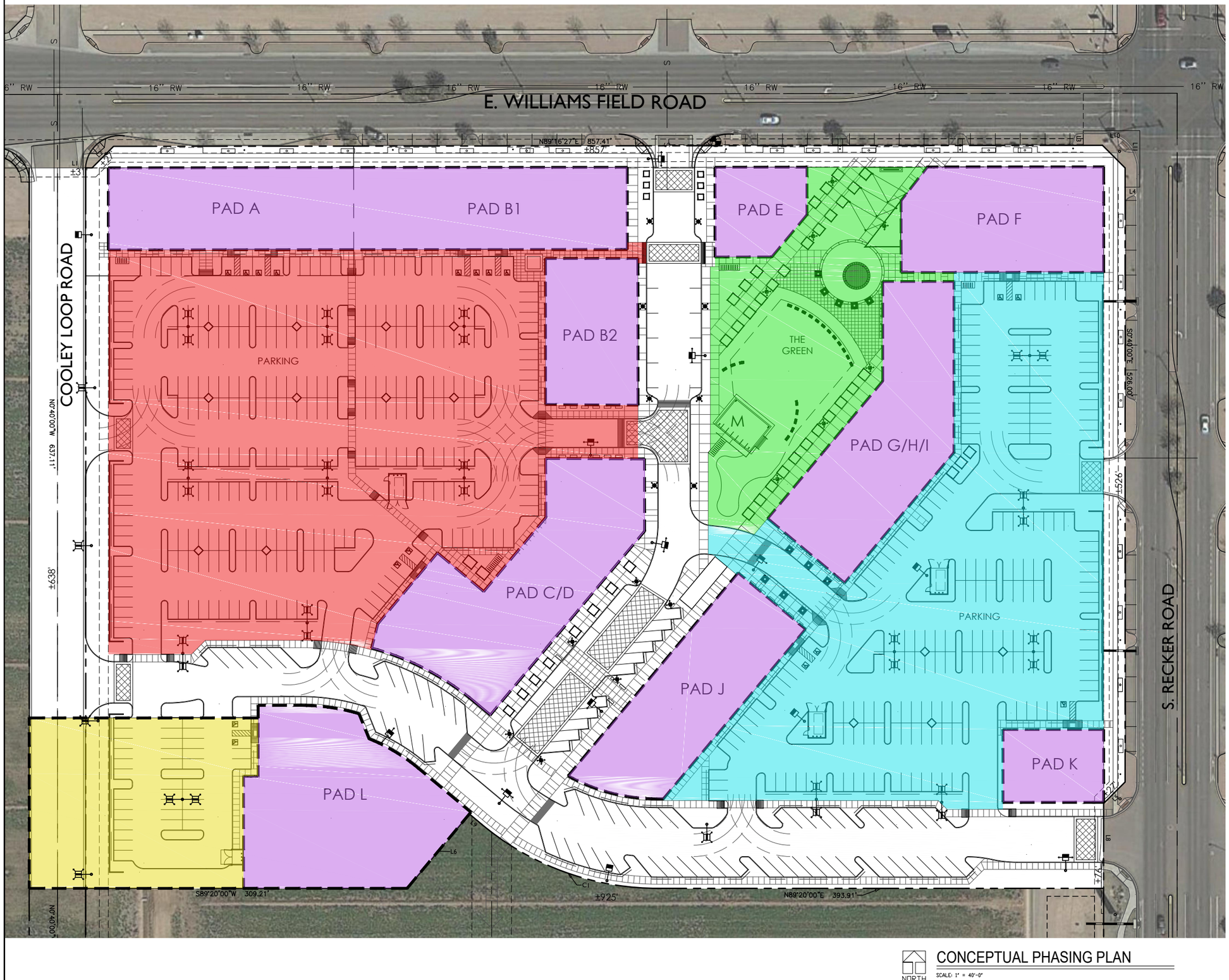
DR18-206 Verde at Cooley Station
Attachment 5: Phasing Plan
January 9, 2019



PHASING LEGEND

- PHASE 1: INFRASTRUCTURE IMPROVEMENTS
- PHASE A
- PHASE B
- PHASE C
- -PHASE D
- -FUTURE BUILDINGS (NO SPECIFIC PHASING)

* THE ORDER IN WHICH PHASES A, B, C, AND D WILL BE DEVELOPED WILL DEPEND ON MARKET FORCES AND WILL LIKELY NOT BE CONSTRUCTED IN THE ALPHANUMERIC ORDER SHOWN.

NORTH

CONCEPTUAL PHASING PLAN

SCALE: 1" = 40'-0"

10' 40' 160'
0' 20' 80'

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CONCEPTUAL PHASING PLAN
Verde at Cooley Station
Gilbert, Arizona

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LANDSCAPE LEGEND

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS (U.O.N - UNLESS OTHERWISE NOTED)

TREES

RB - Root Barrier at Tree

- Franinus veluntina 'Fan-Tex' — Fan-Tex Ash — 36" Box / Matching
- Pistacia x Red Push — Red Push Pistache — 48" Box / Matching U.O.N.
- Quercus virginiana 'Heritage' — Cathedral Live Oak — 36" Box / Matching
- Caesalpinia mexicana — Mexican Bird of Paradise — 36" Box / Multi Trunk
- Dalbergia sissoo — Sissoo Tree — 24" Box Root Barrier at ALL Trees
- Ulmus parvifolia 'Sempervirens' — Evergreen Elm — 36" Box / Matching
- Phoenix dactylifera — Date Palm — 25' T.F / Diamond Cut Straight / Matching
- Existing Tree — to remain and be protected

SHRUBS

- Ruellia peninsularis — Desert Ruellia — 5 Gallon
- Bougainvillea "Torch Glow" — Torch Glow Bougainvillea — 5 Gallon
- Rosemarinus officinallis " Tuscan Blue" — Tuscan Blue Rosemary — 5 Gallon
- Muhlenbergia rigens — Deer Grass — 5 Gallon
- Leucophyllum frutescens 'Compacta' — Compact Green Cloud Sage — 5 Gallon
- Tecoma stans "Sunrise" — Arizona Yellowbells — 5 Gallon
- Leucophyllum frutescens — Green Cloud Sage — 5 Gallon
- Caesalpinia gilliesii — Yellow Bird of Paradise — 5 Gallon
- Convolvulus cneorum — Bush Morning Glory — 5 Gallon
- Lantana montevidensis — Trailing Lantana 'Purple & Gold mound' — 5 Gallon
- Nolina microcarpa — Bear Grass — 5 Gallon
- Mid-Iron — Bermuda - SOD
- Bougainvillea "Barbara Karst" — 5 Gallon 'Staked' remove for stake espalier to fencing

INERT MATERIAL

- Decomposed Granite 3/4" Screened — Express Brown — 2" depth in all non turf areas — Submit samples to Landscape Architect
- Rip-Rap- 3"-6" River Rock — 3" min thickness where called out — Submit samples to Landscape Architect
- 4 x 6 Gray Concrete Header
- Arificial Turf at Play Area
- Mid-Iron Hybrid Bermuda - SOD — 14,849 Sq. Ft. — 6.0 % of Total Landscape Area

VICINITY MAP

NORTH

SCALE: N.T.S.

NORTH

0 20' 40' 80'

SCALE: 1" = 40'

DR18-206 Verde at Cooley Station
Attachment 6: Landscape
January 9, 2019

LASKIN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
67 E. Weldon Ave.
Suite 230
Phoenix, Arizona 85012
p (602) 840-7771
f (602) 840-8021
www.laskindesign.com

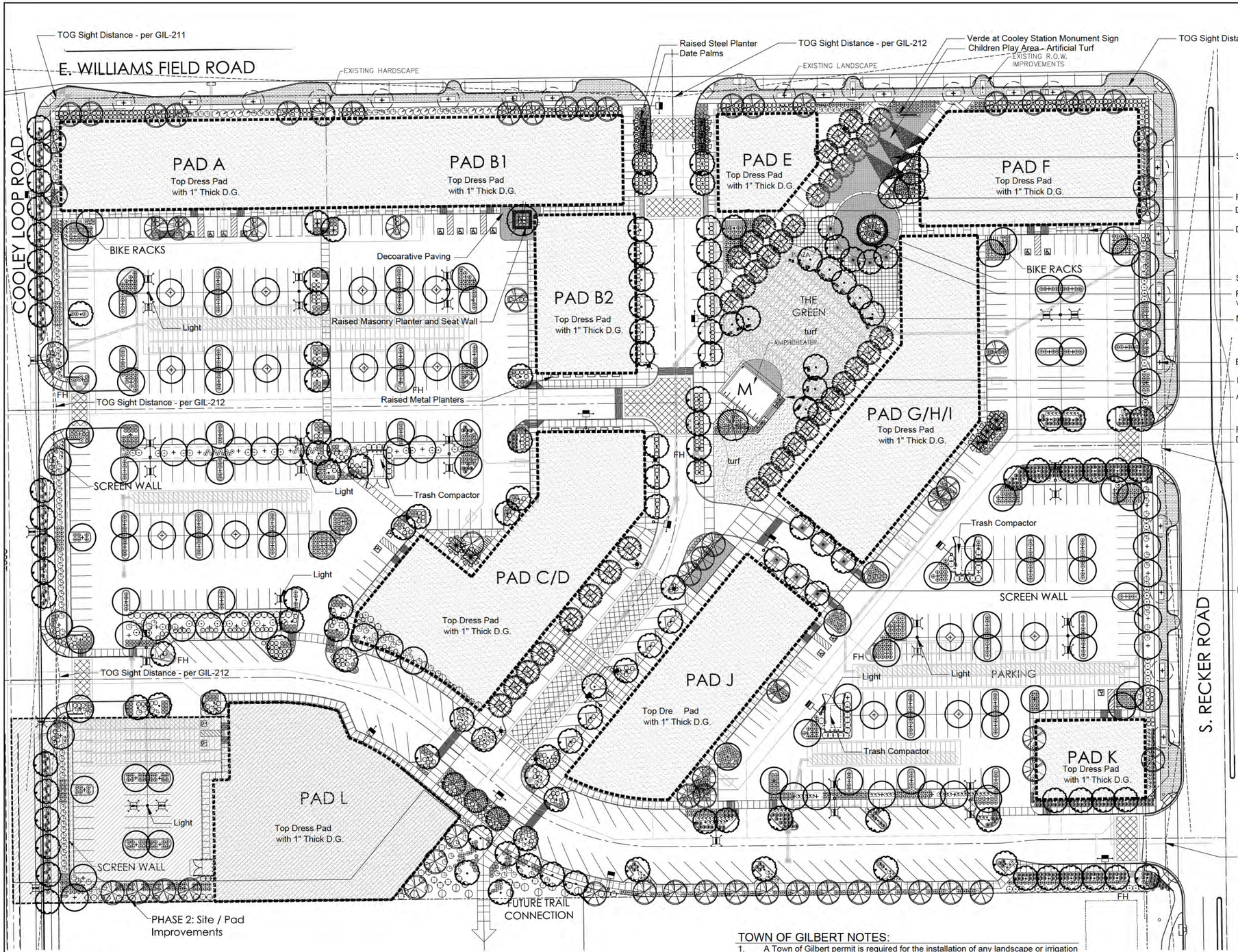
REGISTERED LANDSCAPE ARCHITECT — CERTIFICATE NO. 20088 — HARDY A. LASKIN — Date Signed 11.20.18 — ARIZONA, U.S.A.

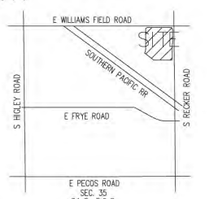
Preliminary Landscape Plan

Verde at Cooley Station
Gilbert, Arizona

11/20/2018

DLR Group
Architecture Engineering Planning Interiors





VICINITY MAP

NORTH SCALE: N.T.S.

NORTH

0 20' 40' 80'

SCALE: 1" = 40'

Landscape Calculations:

GROSS SITE AREA:	(±690,316 SF)	+/- 15.85 ACRES
NET AREA SITE:	(±596,052 SF)	+/- 13.68 ACRES
LANDSCAPE AREA: ON SITE	(+/- 211,610 SF)	+/- 4.86 ACRES
LANDSCAPE AREA: OFF SITE	(+/- 3,444 SF)	+/- .08 ACRES
LANDSCAPE AREA: TOTAL SITE	(+/- 215,054 SF)	

LANDSCAPE COVERAGE - On site : 35.5% (±211,610 SF / +/- 596,052 SF

TOWN OF GILBERT NOTES:

1. A Town of Gilbert permit is required for the installation of any landscape or irrigation system. A CD with PDF format "AS-BUILTS" of the landscape and irrigation plans is also required.
2. Before the Town of Gilbert will accept an installed backflow device for approval, the following must be accomplished: The device must be tested by a State Certified Backflow Tester and the test results forwarded to the town of Gilbert Backflow Specialist. The Town will provide a current list of Certified testers from which to select. Testers fees will be at the expense of the installer.
3. Design of any walls, entry monument signage or ramadas that may be presented herein have been reviewed as conceptual only and will require a separate review and permit from the Building Department. In no case shall the dedicated walls, entry monument signage or ramadas be considered final. Approval by the Planing Department is required prior to the issuance of a Building Permit for said walls, entry monuments and ramadas.
4. No plant material shall be placed 3' from any fire hydrant. or fire dept. connection (fdc) maintain a minimum vertical clearance of 15' where trees overhang the curb line.
5. No planting or objects within the Town of Gilbert sight visibility triangles shall exceed 2 feet. Trees shall have a 7 feet minimum clear canopy.
6. All trees, shrubs and groundcover shall meet or exceed ANA specifications.
7. Construction may begin after all permits have been obtained.

LANDSCAPE LEGEND

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS
(U.O.N - UNLESS OTHERWISE NOTED)

TREES

RB - Root Barrier at Tree

	QNTY
Franinus veluntina 'Fan-Tex' Fan-Tex Ash 36" Box / Matching	41
Pistacia x Red Push Red Push Pistache 48" Box / Matching U.O.N.	6
Quercus virginiana 'Heritage' Cathedral Live Oak 36" Box / Matching	63
Caesalpinia mexicana Mexican Bird of Paradise 36" Box / Multi Trunk	TBD
Dalbergia sissoo Sissoo Tree 24" Box Root Barrier at ALL Trees	139
Ulmus parvifolia 'Sempervirens' Evergreen Elm 36" Box / Matching	142
Phoenix dactylifera Date Palm 25' T.F / Diamond Cut Straight / Matching	11
Existing Tree to remain and be protected	24

SHRUBS

	QNTY
Ruellia peninsularis Desert Ruellia 5 Gallon	265
Bougainvillea "Torch Glow" Torch Glow Bougainvillea 5 Gallon	79
Rosemarinus officinallis " Tuscan Blue" Tuscan Blue Rosemary 5 Gallon	827
Muhlenbergia rigens Deer Grass 5 Gallon	1375
Leucophyllum frutescens 'Compacta' Compact Green Cloud Sage 5 Gallon	214
Tecoma stans "Sunrise" Arizona Yellowbells 5 Gallon	112
Leucophyllum frutescens Green Cloud Sage 5 Gallon	48
Caesalpinia gilliesii Yellow Bird of Paradise 5 Gallon	15
Convolvulus cneorum Bush Morning Glory 5 Gallon	475
Lantana montevidensis Trailing Lantana 'Purple & Gold mound'	502
Mid-Iron Bermuda - SOD	
Bougainvillea "Barbara Karst" Purple Bougainvillea 5 Gallon 'Staked' remove for take e palier to fencing	

INERT MATERIAL

Decomposed Granite 3/4" Screened Express Brown 2" depth in all non turf areas Submit samples to Landscape Architect
Rip-Rap- 3"-6" River Rock 3" min thickness where called out Submit samples to Landscape Architect
4 x 6 Gray Concrete Header
Arificial Turf at Play Area
Mid-Iron Hybrid Bermuda - SOD 14,849 Sq. Ft. 7.0 % of Total Landscape Area

LASKIN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
67 E Weldon Ave
Suite 230
Phoenix, Arizona 85012
p (602) 840-7771
f (602) 840-8021
www.laskindesign.com

REGISTERED LANDSCAPE ARCHITECT CERTIFICATE NO. 20088 HARDY A. LASKIN 11.20.18 Date Signed ARIZONA, USA

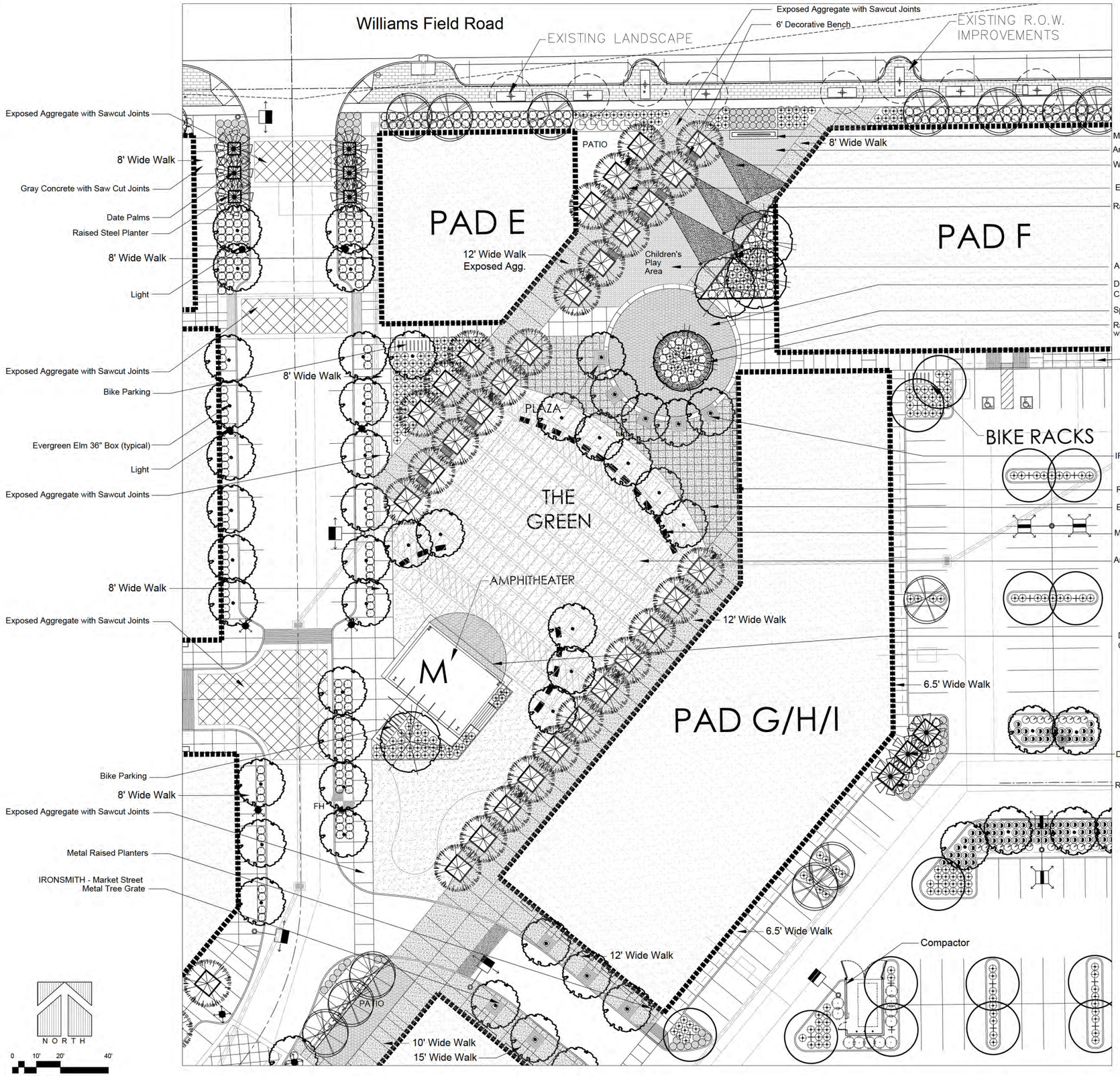
Preliminary Landscape Plan

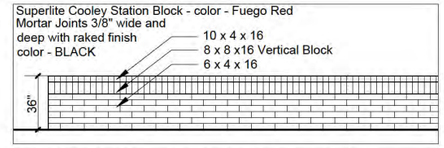
Verde at Cooley Station
Gilbert, Arizona

11/20/2018

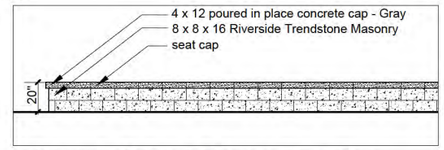
DLR Group
Architecture Engineering Planning Interiors

PLA.01

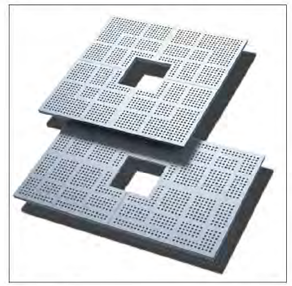




3' Masonry Screen Wall Elevation 1/4" = 1' - 0"



Masonry Raised Planter Elevation 1/4" = 1' - 0"



Tree Grates : Ironsmith - Marketstreet

Bench : Landscape Forms - Neoliviano
or Approved Equal

Bike Rack : Landscape Forms - Ride Bike Series
or Approved Equal

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REGISTERED LANDSCAPE ARCHITECT
CERTIFICATE NO.
20088
HARDY A. LASKIN
11.20.18
Signed
ARIZONA, U.S.A.

Preliminary
Enlargement Plan

Verde at Cooley Station
Gilbert, Arizona

11/20/2018

DLR Group
Architecture Engineering Planning Interiors

PLA.02

PRELIMINARY GRADING & DRAINAGE PLAN

NORTH

40 0 40 80
scale feet

50-YR, 24-HR RUNOFF RETENTION CALCULATIONS

$V_{REG} = C * (D/12) * A$
WHERE: V_{REG} = RUNOFF VOLUME (CF)
C = COMPOSITE RUNOFF COEFFICIENT
D = 50-YR, 24-HR RAINFALL DEPTH (IN) = 3.00
A = AREA (SF)

VOLUME REQUIRED

COMPOSITE C-VALUE (C=.87)
V = .87* (3/12) * 690,747
V = 150,237 (CF)

VOLUME PROVIDED

*THIS PROJECT WILL UTILIZE STORM TECH MC-4500 UNDERGROUND STORAGE CONTAINERS

UG1 = 38,613 CF
UG2/UG9 = 12,694 CF
UG3/UG4 = 45,361 CF
UG5/UG6 = 26,362 CF
UG7 = 10,601 CF
UG8 = 18,026
TOTAL PROVIDED = 151,657 CF

LEGEND

- ISOLATED ROW FOR FIRST FLUSH
- SURFACE FLOW DIRECTION
- STORM DRAIN LINE
- CATCH BASIN
- STORM DRAIN MANHOLE
- GRADE BREAK
- GRADE CHANGE

LINE TABLE		
LINE	LENGTH	BEARING
L1	30.59'	N89°16'26"E
L2	26.88'	N44°18'14"E
L3	13.00'	N00°40'28"W
L4	13.00'	S89°14'44"W
L5	26.88'	S44°18'14"W
L6	85.75'	N39°16'27"E
L7	30.00'	N62°38'49"W
L8	75.07'	S00°39'58"E
L9	14.11'	N50°43'33"W
L10	50.00'	S89°16'27"W
L11	50.00'	N00°39'48"W

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	DELTA
C1	169.39'	243.00'	165.99'	039°56'26"
C2	146.71'	300.00'	145.25'	028°01'11"

E. WILLIAMS FIELD ROAD

S. RECKER ROAD

WEST COOLEY LOOP ROAD

REMOVE EXISTING DRIVE AND CONSTRUCT NEW 50' DRIVE

RECONSTRUCT EXISTING OFF-SITE DRAINAGE FACILITIES

REMOVE EXISTING DRIVE AND CONSTRUCT NEW 37' DRIVE

RECONSTRUCT EXISTING OFF-SITE DRAINAGE FACILITIES

RECONSTRUCT OFF-SITE DRAINAGE FACILITIES

CONSTRUCT NEW 49' WIDE ROADWAY IMPROVEMENTS

CONNECT TO EXISTING DRIVE

RECONSTRUCT EXISTING OFF-SITE DRAINAGE FACILITIES

CONNECT TO EXISTING DRIVE

UG1 Vs=38,208 CF Vp=38,613 CF

UG2/UG9 Vs=12,373 CF Vp=12,694 CF

UG3/UG4 Vs=45,207 CF
Vs=36,084 CF (UNDERGROUND)
Vs=9,277 CF (ABOVE GROUND)
Vp=45,361 CF (TOTAL)

UG5/UG6 Vs=26,182 CF Vp=26,362 CF

UG7 Vs=10,261 CF Vp=10,601 CF

UG8 Vs=18,006 CF Vp=18,026 CF

FF=8.30 FF=8.80 FF=9.60 FF=10.60 FF=9.00 FF=10.00 FF=10.30

18" STORM DRAIN

8' PUE

19' RIGHT OF ENTRY

46' R/W

50' PROPOSED R/W

N89°16'27"E 857.41'

S89°26'00"W 309.21'

N89°20'00"E 393.91'

N00°40'00"W 637.11'

S00°40'00"E 626.03'

EPS GROUP
1130 N. Alma School Rd
Suite 101
Mesa, AZ 85210
T:480.503.2250 | F:480.503.2258
www.epsgroupinc.com

Verde at Cooley Station
Gilbert, Arizona

DLR Group
Architecture Engineering Planning Interiors

PRELIMINARY UTILITY PLAN

NORTH

40 0 40 80
scale feet

LEGEND

- WATER VALVE
- WATER TEE
- FIRE HYDRANT
- WATER METER
- WATER LINE
- SEWER LINE
- OIL/SAND SEPARATOR
- SEWER MANHOLE

LINE TABLE		
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w w w . e p s g r o u p i n c . c o m

Verde at Cooley Station
Gilbert, Arizona

DLR Group
Architecture Engineering Planning Interiors

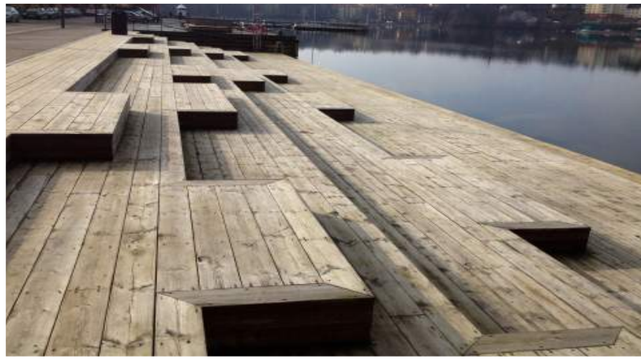
VERDE AT COOLEY STATION

GILBERT, AZ

NOVEMBER 2018

RELAX

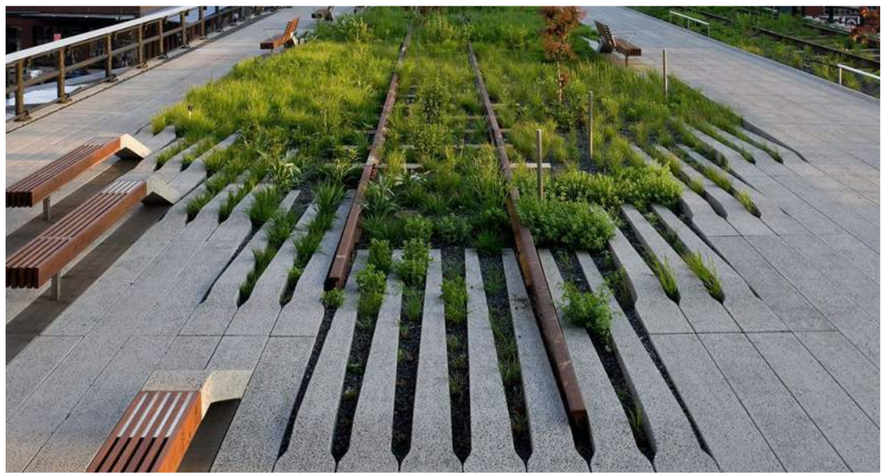
INTERACT



EXPLORE

PATTERN

TRANSPARENCY



LAYERS


Smoking Area
Elevators
B1-9-11-12F
LOFT
9F-12F
Gardening Shop
Aquarium Fish Store

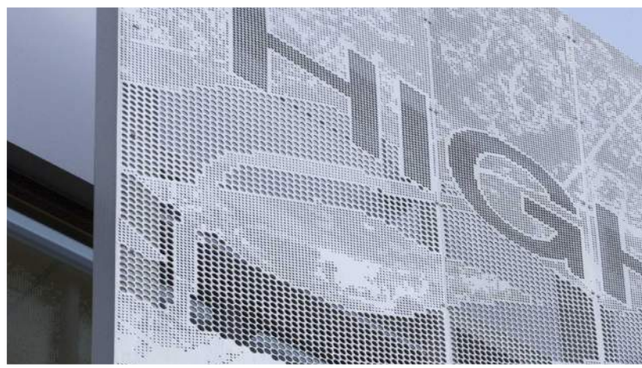

UNIVERSITY HOUSE

graphics


HOUSE


THE CHINA HOUSE


TOKKOI




COOLEY STATION


CHANGE
THE
GAME


EST. 1854
BING, HARRIS
&CO.
CLOTHING & FOOTWEAR
MERCHANTS


Cycle

Parcel/ Area Map

SITE DATA

A.P.N.	304-48-016C
CURRENT LAND USE:	AGRICULTURAL
PROPOSED USE:	OFFICE/RETAIL/RESTATAURANT
CURRENT ZONING:	GVC
GROSS AREA:	+/- 15.97 ACRES (±695,594 SF)
NET AREA:	+/- 13.80 ACRES (±601,329 SF)
TOTAL BUILDING AREA:	+/- 141,202 SF
LOT COVERAGE:	19% (±114,097 SF/ ±601,329)
LOT F.A.R.:	.23 (±141,285 SF/ ±601,329)
LANDSCAPE AREA:	+/- 5.33 ACRES (±232,300 SF)
LANDSCAPE COVERAGE:	38.6% (±232,200 SF/ ±601,329 SF)

PROPOSED USES:

A. 1ST FLOOR MEDICAL OFFICE (PARKING REQ. 1 SPACE 150 SQ.FT)	+/- 12,876 SF
2ND FLOOR MEDICAL OFFICE (PARKING REQ. 1 SPACE 150 SQ.FT)	+/- 12,876 SF
B1. RETAIL (PARKING REQ. 1 SPACE PER 250 SQ.FT)	+/- 14,386 SF
B2. RETAIL (PARKING REQ. 1 SPACE PER 250 SQ.FT)	+/- 7,984 SF
C. RETAIL (PARKING REQ. 1 SPACE PER 250 SQ.FT)	+/- 5,806 SF
RESTAURANT (PARKING REQ. 1 SPACE PER 100 SQ.FT PLUS 1 SPACE PER 400 SQ.FT. OUTDOOR DINING)	+/- 4,146 SF
D. FITNESS (PARKING REQ. 1 SPACE PER 150 SQ.FT)	+/- 8,298 SF
E. RESTAURANT FULL SERVICE (PARKING REQ. 1 SPACE PER 100 SQ.FT PLUS 1 SPACE PER 400 SQ.FT. OUTDOOR DINING)	+/- 5,067 SF
F. 1ST FLOOR RETAIL (PARKING REQ. 1 SPACE PER 250 SQ.FT)	+/- 14,312 SF
2ND FLOOR OFFICE (PARKING REQ. 1 SPACE PER 250 SQ.FT)	+/- 14,312 SF
G. RESTAURANT (PARKING REQ. 1 SPACE PER 100 SQ.FT PLUS 1 SPACE PER 400 SQ.FT. OUTDOOR DINING)	+/- 3,305 SF
H. RESTAURANT (PARKING REQ. 1 SPACE PER 100 SQ.FT PLUS 1 SPACE PER 400 SQ.FT. OUTDOOR DINING)	+/- 4,947 SF
I. RESTAURANT (PARKING REQ. 1 SPACE PER 100 SQ.FT PLUS 1 SPACE PER 400 SQ.FT. OUTDOOR DINING)	+/- 5,088 SF
J. RETAIL (PARKING REQ. 1SPACE PER 250 SQ.SF)	+/- 8,336 SF
RESTAURANT (PARKING REQ. 1 SPACE PER 100 SQ.FT PLUS 1 SPACE PER 400 SQ.FT. OUTDOOR DINING)	+/- 5,019 SF
K. MEDICAL OFFICE (PARKING REQ. 1SPACE PER 150 SQ.FT)	+/- 4,527 SF
L. DAYCARE (PARKING REQ. 1SPACE PER 300 SQ.FT)	+/- 10,000 SF
TOTAL	+/- 141,285 SF

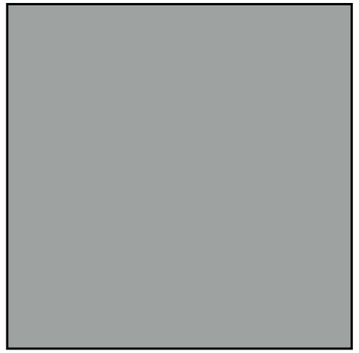
PARKING

PARKING	SQ.FT	REQUIRED	PROVIDED
MEDICAL OFFICE	30,279 SF	202	
GENERAL OFFICE	14,312 SF	57	
RETAIL	50,824 SF	203	
RESTAURANT	27,572 SF	276	
RESTAURANT PATIO	7,200 SF	18	
FITNESS	8,298 SF	56	
DAYCARE	10,000 SF	33	
TOTAL		845	644
ADA PARKING SPACES (@2%)		13	17
BICYCLE PARKING SPACES (@1:10 SPACES)		64	70

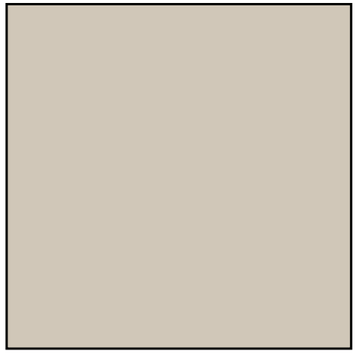
NORTH
0' 10' 20' 40' 80' 160'

Preliminary Site Plan

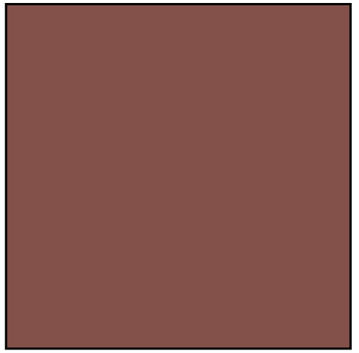
PLASTER



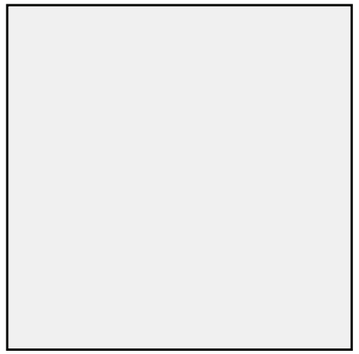
EARL GREY
SW7660



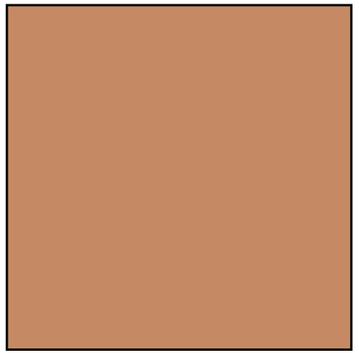
ACCESSIBLE BEIGE
SW7036



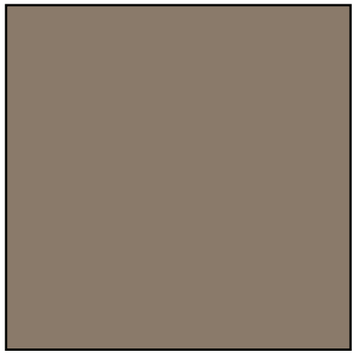
RED BARN
SW7591



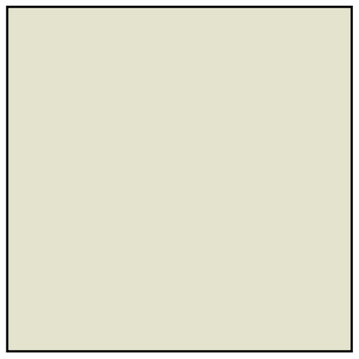
PURE WHITE
SW7005



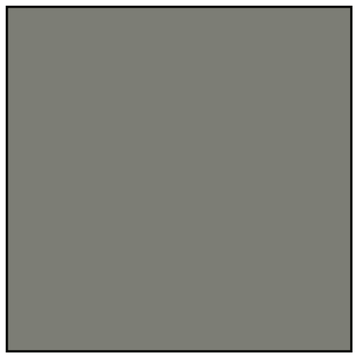
ARMAGNAC
SW6354



VIRTUAL TAUPE
SW7039



SPROUT
SW6427

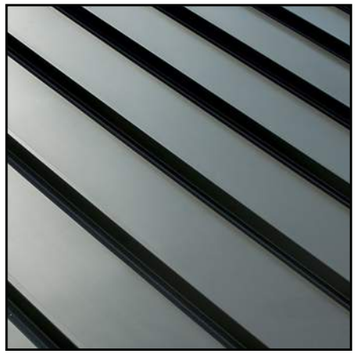


STEEL PAINT - ATTITUDE GRAY
SW7060

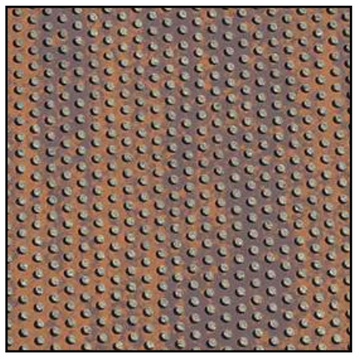
STEEL PAINT - IRON ORE
SW7069

METAL

CORRUGATED METAL ROOF
BRIDGERSTEEL



STANDING SEAM METAL ROOF



PERFORATED METAL SCREEN
GRAEPELS

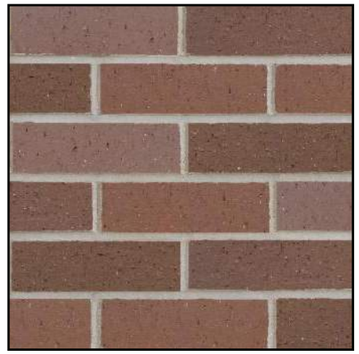
SIDING

RECLAIMED WOOD

HARDIE PLANK

RIVERSIDE
TRENDSTONE

INDUSTRIAL LEDGE
CORONADO STONE



MONTEREY L-4
INTERSTATE BRICK

TUMBLEWEED
INTERSTATE BRICK

Color and Material Boards

RETAIL SHOPS

RETAIL SHOPS
BUILDING EXTERIORS

DIVERSE MATERIALS:
-METAL ACCENTS
-EXTERIOR PLASTER
-BRICK
-CORRUGATED METAL
--RECLAIMED BRICK
-RECLAIMED WOOD SIDING
-HARDIE PLANKS

SILO LANDMARK

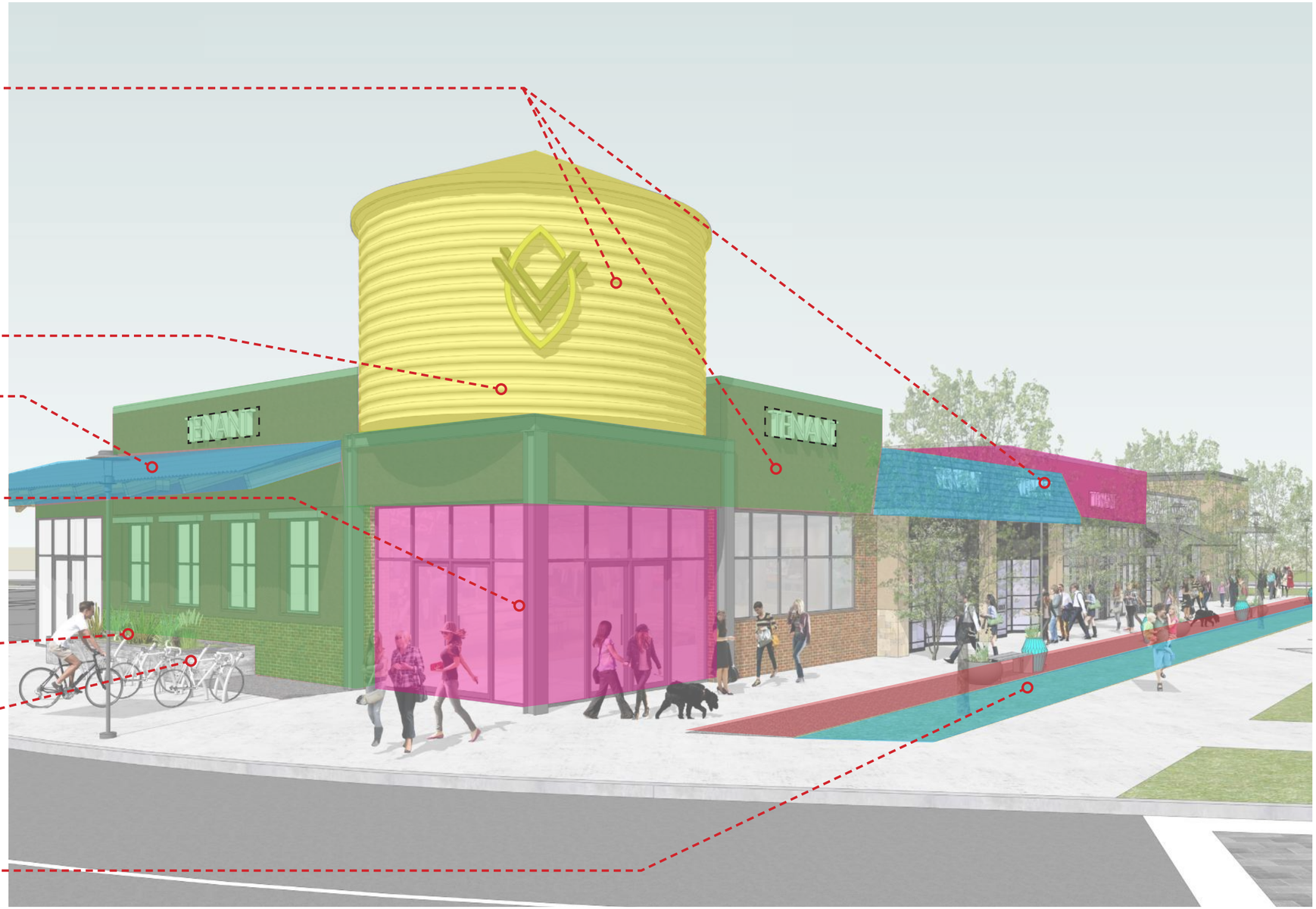
CORRUGATED CANOPY

12’ TENANT OPENINGS/ DIVERSE APPLICATION OF STANDARD DOOR OPENINGS, NANAWALLS, ROLL-UP GARAGE DOORS, FRENCH DOORS, SLIDERS, ETC.

DESERT LANDSCAPE

BIKE RACKS

GREENBELT/
FAMILY FRIENDLY AMENITIES



RESTAURANTS

RESTAURANTS
BUILDING EXTERIORS

DIVERSE MATERIALS:
-CORRUGATED METAL CANOPY
-RECLAIMED WOOD SIDING
-BRICK
-EXTERIOR PLASTER
-HARDIE PLANK

CLERESTORY WINDOWS
(OPTIONAL PER TENANT DESIGN)

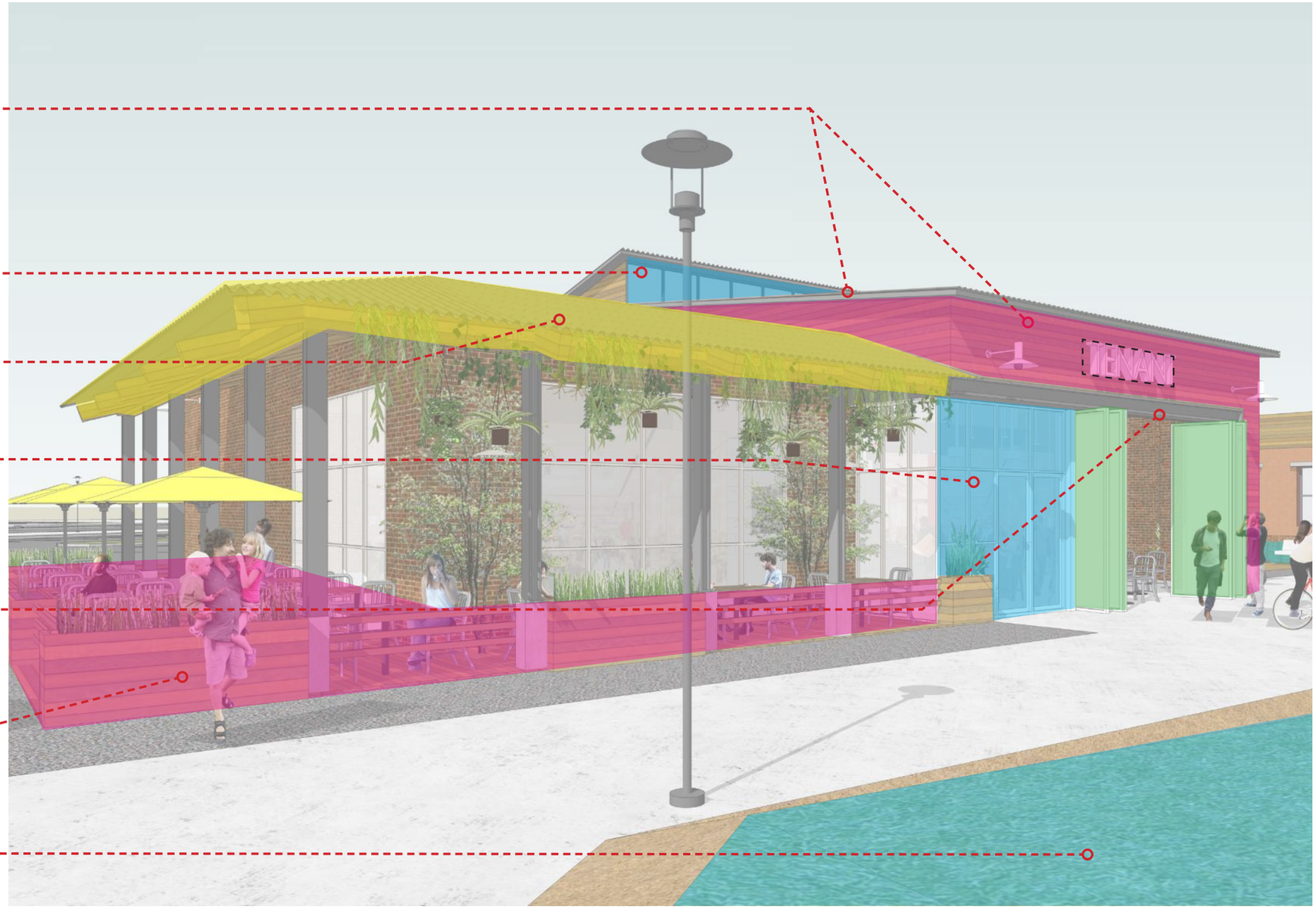
TRELLIS SHADE STRUCTURE WITH
LANDSCAPING

12’ TENANT OPENINGS/ DIVERSE
APPLICATION OF STANDARD DOOR OPEN-
INGS, NANAWALLS, ROLL-UP GARAGE
DOORS, FRENCH DOORS, SLIDERS, ETC.

STEEL CHANNEL FRAME

OUTDOOR PATIO/
AMENITIES

OUTDOOR EVENT SPACE



OFFICE/RETAIL

OFFICE/RETAIL
BUILDING EXTERIORS

DIVERSE MATERIALS:
-BRICK
-EXTERIOR PLASTER
-METAL ACCENTS
-CORRUGATED METAL
-WOOD LOUVERS
-HARDIE PLANK

SIGNAGE

PERFORATED METAL SCREEN

DIVERSE STOREFRONT SYSTEM PER TENANT HANDBOOK

STOREFRONT STEEL ENTRY CANOPY

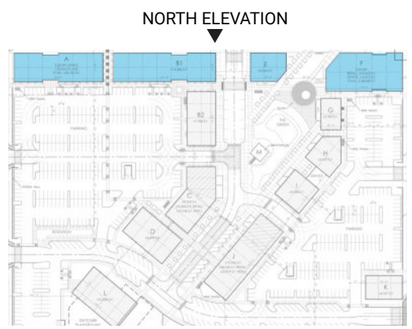
POTTED STREETSCAPE

EXISTING BRICK SIDEWALK

NORTH ELEVATION

SCALE: 1/32” = 1’-0”

0’ 8’ 16’ 32’



KEY PLAN

NORTH ELEVATION

SCALE: 1/32” = 1’-0”

0’ 8’ 16’ 32’

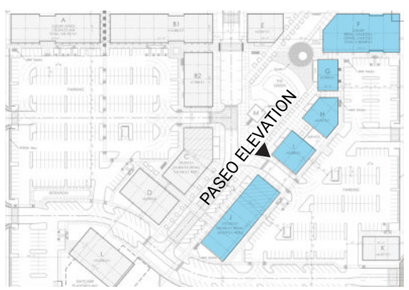
MATERIAL SCHEDULE		FINISH SCHEDULE			
SYMBOL	MATERIAL	SYMBOL	NAME	NUMBER	MANUFACTURER
1	BRICK	P1	GREY		
2	PAINTED PLASTER	P2	BEIGE		
3	RECLAIMED WOOD	P3	BURGUNDY		
4	CORRUGATED METAL	P4	WHITE		
5	TILE	P5	TAN		
6	WOOD LOUVER	P6	STEEL DARK GREY		
7	STEEL CANOPY	P7	STEEL LIGHT GREY		
8	FABRIC AWNING	P8	TAUPE		
9	WOOD TRELLIS	P9	LIGHT GREEN		
10	ALUMINUM WINDOW FRAME SYSTEM				
11	BUILDING SIGNAGE				
12	CONCRETE				
13	STEEL STRUCTURE				
14	STANDING SEAM METAL ROOF				
15	STONE				

Overall Colored Elevations

ELEVATION B - PASEO LOOKING EAST

SCALE: 1/32” = 1’-0”

0’ 8’ 16’ 32’



KEY PLAN

ELEVATION B - PASEO LOOKING EAST

SCALE: 1/32” = 1’-0”

0’ 8’ 16’ 32’

MATERIAL SCHEDULE		FINISH SCHEDULE			
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5	TILE	P5	TAN		
6	WOOD LOUVER	P6	STEEL DARK GREY		
7	STEEL CANOPY	P7	STEEL LIGHT GREY		
8	FABRIC AWNING	P8	TAUPE		
9	WOOD TRELLIS	P9	LIGHT GREEN		
10	ALUMINUM WINDOW FRAME SYSTEM				
11	BUILDING SIGNAGE				
12	CONCRETE				
13	STEEL STRUCTURE				
14	STANDING SEAM METAL ROOF				
15	STONE				

Overall Colored Elevations

NORTH ELEVATION

SCALE: 1/16" = 1'-0"

0' 4' 8' 16'

WEST ELEVATION

SCALE: 1/16" = 1'-0"

0' 4' 8' 16'

SOUTH ELEVATION

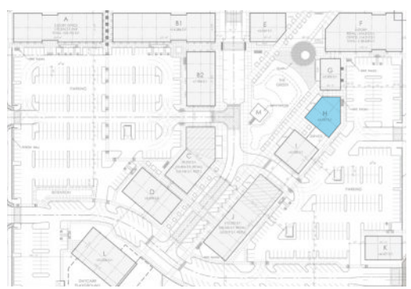
SCALE: 1/16" = 1'-0"

0' 4' 8' 16'

EAST ELEVATION

SCALE: 1/16" = 1'-0"

0' 4' 8' 16'



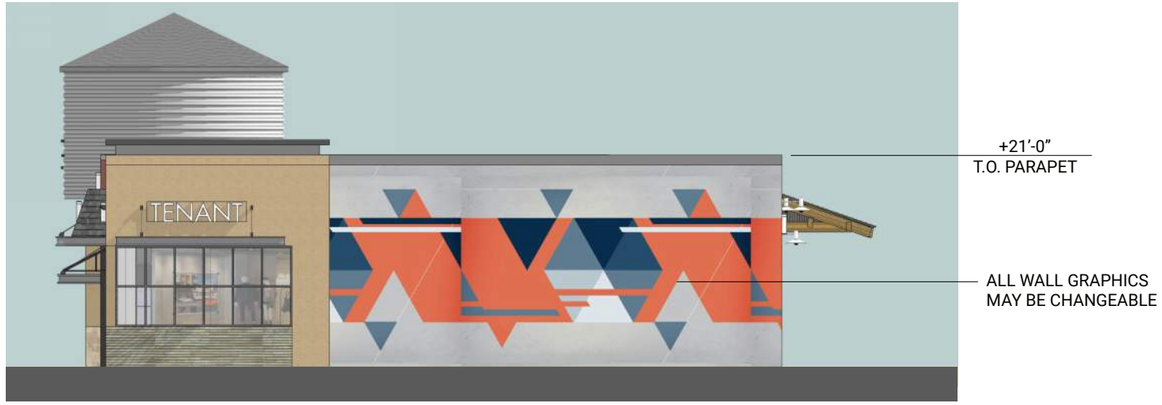
KEY PLAN

BLDG. H - Colored Elevations

NORTH ELEVATION

SCALE: 1/16” = 1’-0”

0’ 4’ 8’ 16’

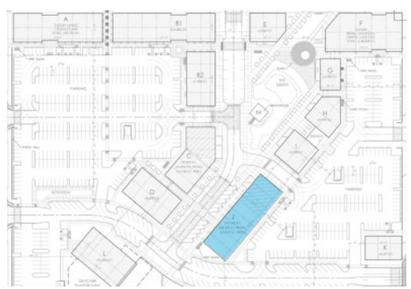


WEST ELEVATION

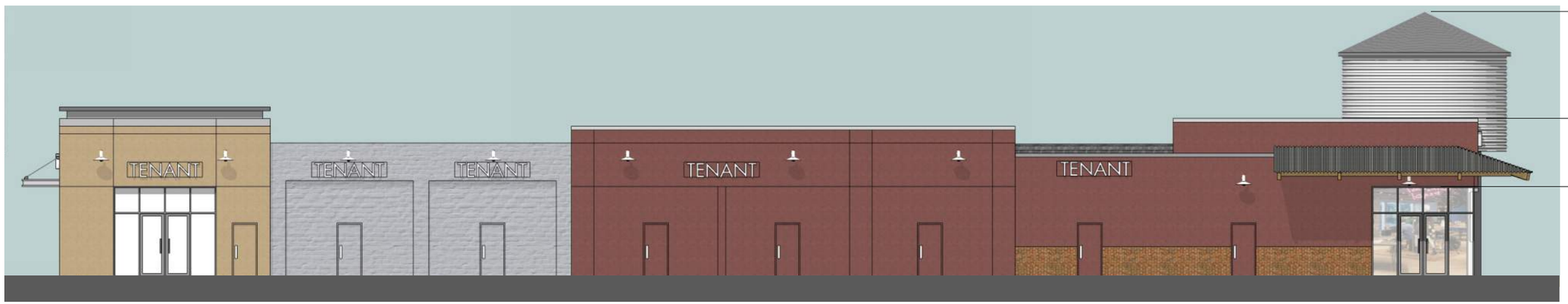
SCALE: 1/16” = 1’-0”

0’ 4’ 8’ 16’

BLDG. J - Colored Elevations



KEY PLAN



SOUTH ELEVATION

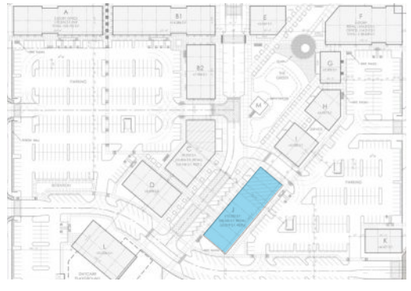
SCALE: 1/16" = 1'-0"

0' 4' 8' 16'

EAST ELEVATION

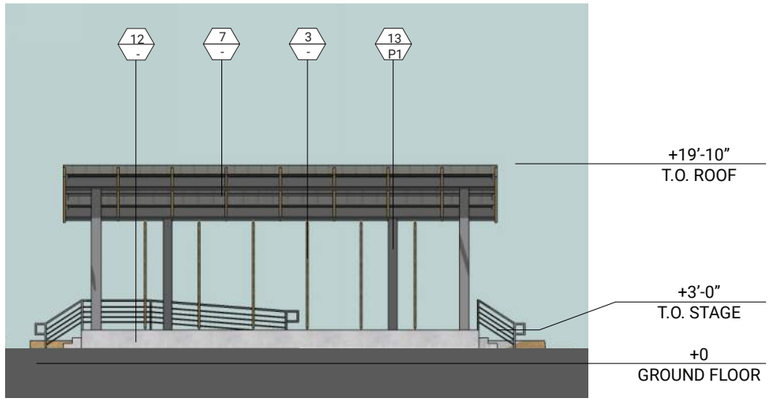
SCALE: 1/16" = 1'-0"

0' 4' 8' 16'



KEY PLAN

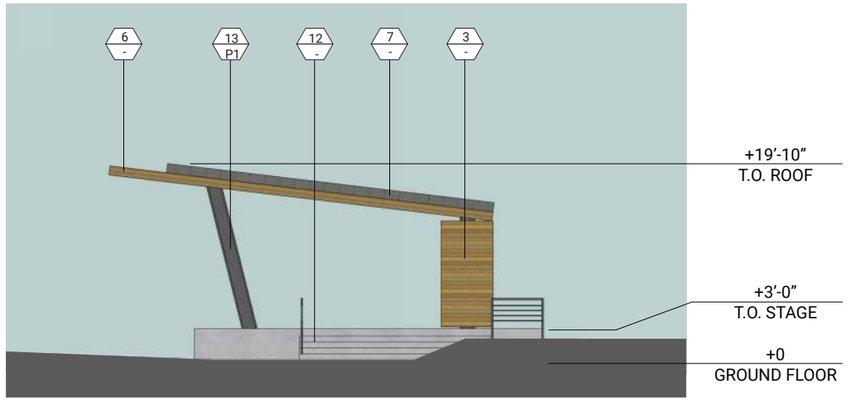
BLDG. J - Colored Elevations



SOUTH ELEVATION

SCALE: 1/16” = 1’-0”

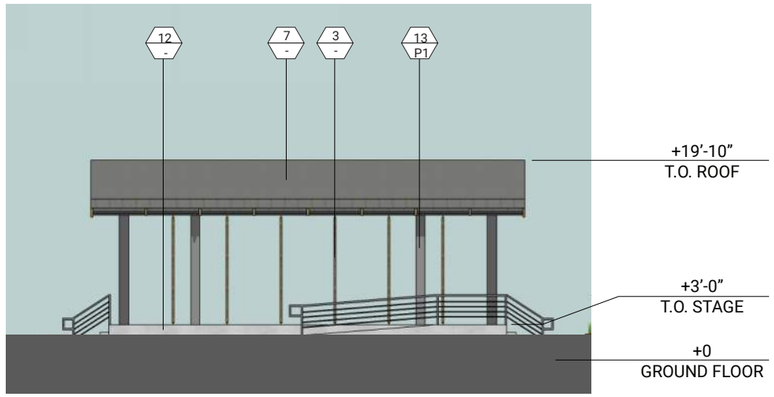
0’ 4’ 8’ 16’



WEST ELEVATION

SCALE: 1/16” = 1’-0”

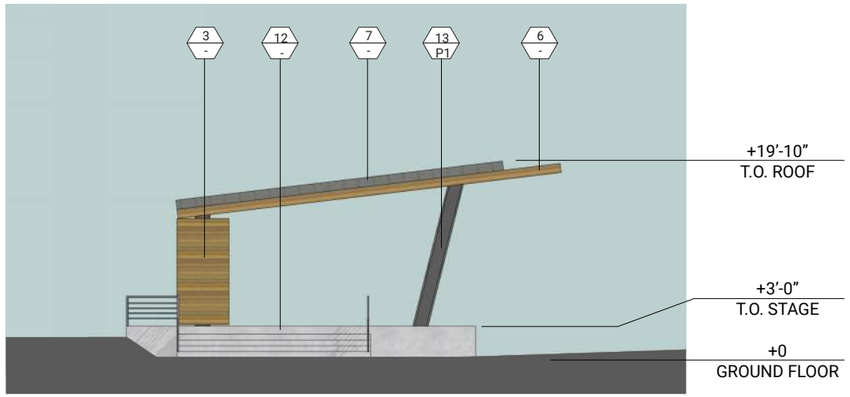
0’ 4’ 8’ 16’



SOUTH ELEVATION

SCALE: 1/16” = 1’-0”

0’ 4’ 8’ 16’



EAST ELEVATION

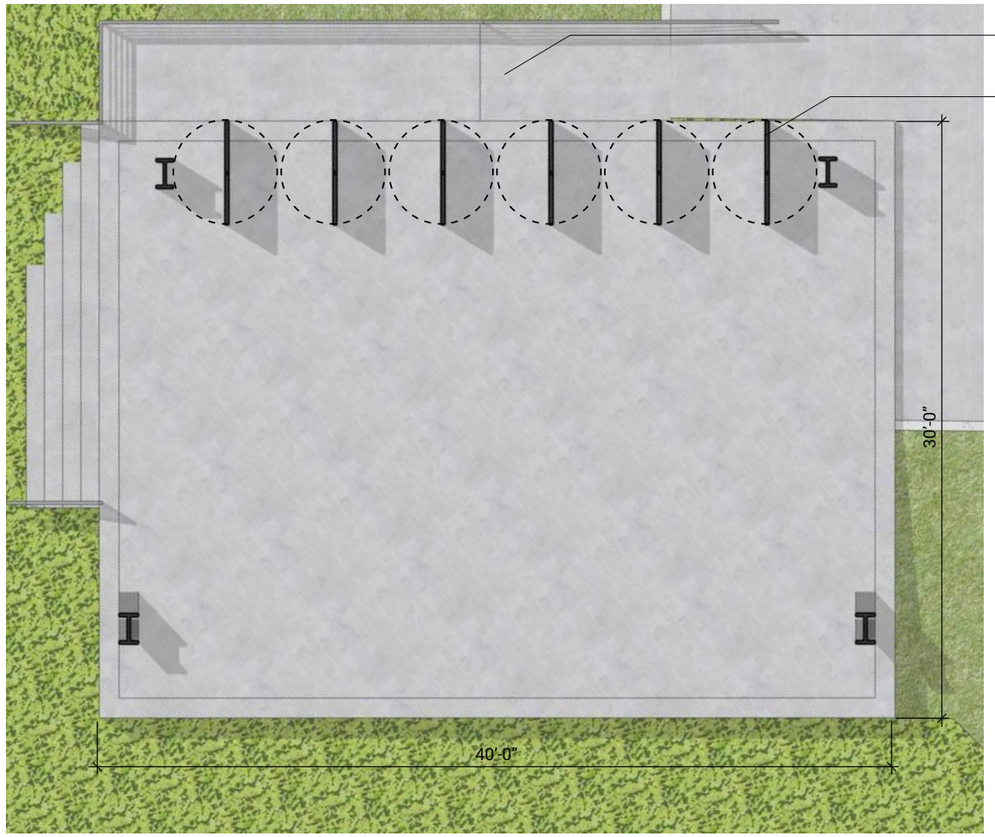
SCALE: 1/16” = 1’-0”

0’ 4’ 8’ 16’

KEY PLAN

MATERIAL SCHEDULE		FINISH SCHEDULE			
SYMBOL	MATERIAL	SYMBOL	NAME	NUMBER	MANUFACTURER
1	BRICK	P1	GREY		
2	PAINTED PLASTER	P2	BEIGE		
3	RECLAIMED WOOD	P3	BURGUNDY		
4	CORRUGATED METAL	P4	WHITE		
5	TILE	P5	TAN		
6	WOOD LOUVER	P6	STEEL DARK GREY		
7	STEEL CANOPY	P7	STEEL LIGHT GREY		
8	FABRIC AWNING	P8	TAUPE		
9	WOOD TRELLIS	P9	LIGHT GREEN		
10	ALUMINUM WINDOW FRAME SYSTEM				
11	BUILDING SIGNAGE				
12	CONCRETE				
13	STEEL STRUCTURE				
14	STANDING SEAM METAL ROOF				
15	STONE				

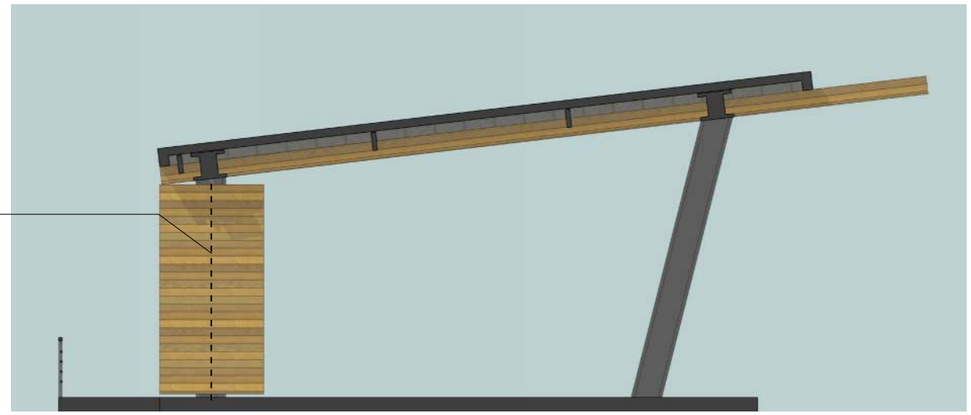
BLDG. M - Colored Elevations



EAST ELEVATION

SCALE: 1/8" = 1'-0"

0' 2' 4' 8'



SECTION

SCALE: 1/8" = 1'-0"

0' 2' 4' 8'

KEY PLAN

BLDG. M - Plan & Section

NORTH ELEVATION

SCALE: 1/16" = 1'-0"

0' 4' 8' 16'

WEST ELEVATION

SCALE: 1/16" = 1'-0"

0' 4' 8' 16'

KEY PLAN

BLDG. A - Colored Elevations

SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

0' 4' 8' 16'

EAST ELEVATION

SCALE: 1/16" = 1'-0"

0' 4' 8' 16'

BLDG. A - Colored Elevations

KEY PLAN

NORTH ELEVATION

SCALE: 1/16" = 1'-0"

0' 4' 8' 16'

WEST ELEVATION

SCALE: 1/16" = 1'-0"

0' 4' 8' 16'

BLDG. B1/B2 - Colored Elevations

KEY PLAN

MATERIAL SCHEDULE		FINISH SCHEDULE			
SYMBOL	MATERIAL	SYMBOL	NAME	NUMBER	MANUFACTURER
1	BRICK	P1	GREY		
2	PAINTED PLASTER	P2	BEIGE		
3	RECLAIMED WOOD	P3	BURGUNDY		
4	CORRUGATED METAL	P4	WHITE		
5	TILE	P5	TAN		
6	WOOD LOUVER	P6	STEEL DARK GREY		
7	STEEL CANOPY	P7	STEEL LIGHT GREY		
8	FABRIC AWNING	P8	TAUPE		
9	WOOD TRELLIS	P9	LIGHT GREEN		
10	ALUMINUM WINDOW FRAME SYSTEM				
11	BUILDING SIGNAGE				
12	CONCRETE				
13	STEEL STRUCTURE				
14	STANDING SEAM METAL ROOF				
15	STONE				

SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

0' 4' 8' 16'

EAST ELEVATION

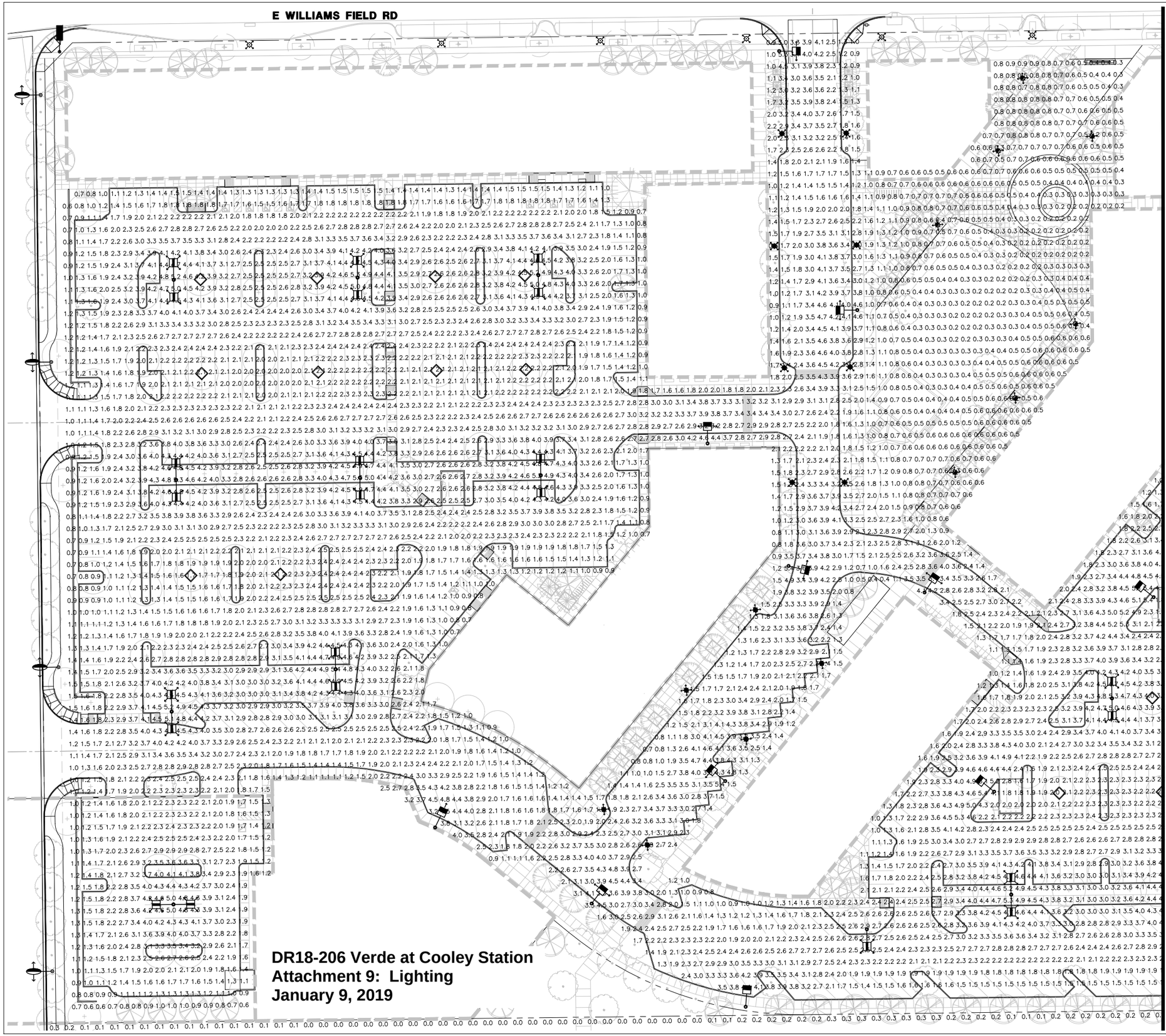
SCALE: 1/16" = 1'-0"

0' 4' 8' 16'

KEY PLAN

MATERIAL SCHEDULE		FINISH SCHEDULE			
SYMBOL	MATERIAL	SYMBOL	NAME	NUMBER	MANUFACTURER
1	BRICK	P1	GREY		
2	PAINTED PLASTER	P2	BEIGE		
3	RECLAIMED WOOD	P3	BURGUNDY		
4	CORRUGATED METAL	P4	WHITE		
5	TILE	P5	TAN		
6	WOOD LOUVER	P6	STEEL DARK GREY		
7	STEEL CANOPY	P7	STEEL LIGHT GREY		
8	FABRIC AWNING	P8	TAUPE		
9	WOOD TRELLIS	P9	LIGHT GREEN		
10	ALUMINUM WINDOW FRAME SYSTEM				
11	BUILDING SIGNAGE				
12	CONCRETE				
13	STEEL STRUCTURE				
14	STANDING SEAM METAL ROOF				
15	STONE				

BLDG. B/B1 - Colored Elevations



CALCULATIONS

Parking Lot
5877 points at z=0, sp 8ft by 8ft
HORIZONTAL FOOTCANDLES

Average	2.3
Maximum	5.4
Minimum	0.2
Avg:Min	11.56
Max:Min	27.00
Coef Var	0.47
UnifGrad	5.56

Property Line
90 points
HORIZONTAL FOOTCANDLES

Average	0.1
Maximum	0.3
Minimum	0.0
Avg:Min	N/A
Max:Min	N/A
Coef Var	0.85

LEGEND

COOPER LIGHTING – McGRAW–EDISON
GLEON–AF–04–LED–E1–5WQ Type V
candela file 'GLEON–AF–04–LED–E1–5WQ.ies'
64 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 225
mounting height= 25 ft
number locations= 31, number luminaires= 31
kw all locations= 7.0

COOPER LIGHTING – McGRAW–EDISON
GLEON–AF–02–LED–E1–SL4–HSS Type IV
candela file 'GLEON–AF–04–LED–E1–SL4–HSS.ies'
64 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 225
mounting height= 25 ft
number locations= 3, number luminaires= 3
kw all locations= 0.7

COOPER LIGHTING – McGRAW–EDISON
GLEON–AF–04–LED–E1–T4FT Type IV
candela file 'GLEON–AF–04–LED–E1–T4FT.ies'
64 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 225
mounting height= 25 ft
number locations= 1, number luminaires= 1
kw all locations= 0.2

COOPER LIGHTING – McGRAW–EDISON
GLEON–AF–03–LED–E1–SL2 TYPE II
candela file 'GLEON–AF–03–LED–E1–SL2–HSS.ies'
48 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 166
mounting height= 25 ft
number locations= 8, number luminaires= 8
kw all locations= 1.3

ANP LIGHTING
LF–0962–T114LD4–N–T5–40K
candela file 'LF1535–CLST–T083LDNT540K.IES'
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.900, watts per luminaire = 42
mounting height= 12 ft
number locations= 7, number luminaires= 7
kw all locations= 0.3

EXISTING 31W ANP LIGHTING
DECORATIVE LED PEDESTRIAN LIGHT
candela file 'LF1535–CLST–T042LD4NT540K.IES'
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.510, watts per luminaire = 43
mounting height= 12 ft
number locations= 13, number luminaires= 13
kw all locations= 0.6

EXISTING 78W ANP
DECORATIVE LED STREETLIGHT
candela file 'LA9900–3–P078LD4NT340K.IES'
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.770, watts per luminaire = 77
mounting height= 29 ft
number locations= 16, number luminaires= 16
kw all locations= 1.2

EXISTING 250W HPS STREETLIGHT
candela file 'GE453714.IES'
1 lamp(s) per luminaire, 30000 initial lumens per lamp
Light Loss Factor = 0.850, watts per luminaire = 305
mounting height= 40 ft
number locations= 4, number luminaires= 4
kw all locations= 1.2

NORTH

GRAPHIC SCALE

30 15 0 15 30 60

1 INCH = 30 FEET

WRIGHT engineering corporation
ELECTRICAL ENGINEERING AND DESIGN
165 EAST CHILTON DRIVE • CHANDLER, ARIZONA 85225
PHONE 480.497.5825 • FAX 480.497.5807

PHOTOMETRIC CALCULATION SHEET. FOR INFORMATION ONLY.

Registered Professional Engineer (Electrical) Certificate No. 46691 ADAM M. BOWERS 11-30-19 State of Arizona
Signed 3-30-19

PROJECT NAME:
VERDE AT COOLEY STATION PHOTOMETRICS

WRIGHT ENG. PROJECT NO: **18325**

DESIGN BY: CRC **PH1**

H:\2018\18325–Verde at Cooley Station\Photometrics\18325–SE–PH.dwg

McGraw-Edison

GLEON GALLEON LED

DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics
Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 3000K, 5000K and 6000K CCT.

Electrical
LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480Y Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 800mA, 800mA and 1200mA drive currents (nominal).

Mounting
STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option. QUICK MOUNT ARM: Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish
Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

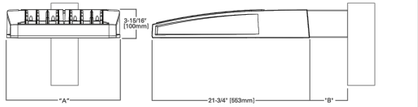
Warranty
Five-year warranty.

GLEON
GALLEON LED

1-10 Light Squares
Solid State LED

AREA/SITE LUMINAIRE

DIMENSIONS

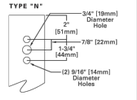


DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length [1]	Weight with Arm (lbs.)	EPA with Arm [2] (Sq. Ft.)
1-4	16-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. **2.** EPA calculated with optional arm length.

DRILLING PATTERN



***www.designlights.org**

CERTIFICATION DATA
UL/cUL Wet Location Listed
ISO 9001
LM79 / LM80 Compliant
3G Vibration Rated
IP66 Rated
DesignLights Consortium™ Qualified*

ENERGY DATA
Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120V-277V 50/60Hz
347V & 480V 60Hz
-40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)

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2016-09-28 15:31:55

Eaton Powering Business Worldwide

ORDERING INFORMATION

Sample Number: GLEON-AF-04-LED-E1-T3-GM-QM

Product Family [1,2]	Light Engine	Number of Light Squares [1]	Lamp Type	Voltage	Distribution	Color	Mounting
GLEON–Galleon	**AF**–1A Drive Current	**01**=1 **02**=2 **03**=3 **04**=4 **05**=5 **06**=6 **07**=7 [4] **08**=8 [4] **09**=9 [5] **10**=10 [5]	**LED**–Solid State Light Emitting Diodes	**E1**=120-277V (50/60Hz) **480**=480V [6,7]	**T2**=Type II **T2R**=Type II Roadway **T3**=Type III **T3R**=Type III Roadway **T4FT**=Type IV Forward Throw **T5**=Type V Horizontal **SWQ**=Type V Narrow **SMQ**=Type V Square Medium **SWQ**=Type V Square Wide **SL2**=Type II w/Spill Control **SL3**=Type III w/Spill Control **SL4**=Type IV w/Spill Control **SLR**=Type II w/Spill Eliminator Right **SLR**=90° Spill Light Eliminator Right **RW**=Rectangular Wide Type I **AFL**=Automotive Frontline	**AP**=Grey **BZ**=Bronze **BK**=Black **DP**=Dark Platinum **GM**=Graphite Metallic **WH**=White	**[Blank]**=Arm for Round or Square Pole **EA**=Extended Arm [3] **MA**=Mast Arm Adapter [4] **WM**=Wall Mount **QM**=Quick Mount Arm [Standard Length] [8] **QMEA**=Quick Mount Arm (Extended Length) [9]

Options (Add as Suffix)

7030=70 CRI 3000K [4]
8030=80 CRI 3000K [4]
7050=70 CRI 5000K [4]
7060=70 CRI 6000K [4]
600=Drive Current Factory Set to Nominal 600mA [10]
800=Drive Current Factory Set to Nominal 800mA [10]
1200=Drive Current Factory Set to Nominal 1200mA [4, 10]
F=Single Fuse (120, 277 or 347V. Must Specify Voltage)
FF=Double Fuse (208, 240 or 480V. Must Specify Voltage)
2L=Two Circuits [4, 11]
DIM=External 0-10V Dimming Leads
P=Button Type Photocontrol (120, 208, 240 or 277V. Must Specify Voltage)
PER7=NEMA 7-PIN Twistlock Photocontrol Receptacle
R=NEMA Twistlock Photocontrol Receptacle
AHD145=After Hours Dim, 5 Hours [4]
AHD245=After Hours Dim, 6 Hours [4]
AHD255=After Hours Dim, 7 Hours [4]
AHD355=After Hours Dim, 8 Hours [4]
HA=50°C High Ambient [4]
MS/DIM-L08=Motion Sensor for Dimming Operation, Maximum 8' Mounting Height [12, 21]
MS/DIM-L20=Motion Sensor for Dimming Operation, 9' - 20' Mounting Height [12, 21]
MS/DIM-L40=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height [12, 21]
MS/DIM-L40W=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height (Wide Range) [12, 24]
MS/X-L08=Bi-Level Motion Sensor, Maximum 8' Mounting Height [12, 21, 22]
MS/X-L20=Bi-Level Motion Sensor, 9' - 20' Mounting Height [12, 21, 22]
MS/X-L40=Bi-Level Motion Sensor, 21' - 40' Mounting Height [12, 21, 22]
MS/X-L40W=Bi-Level Motion Sensor, 21' - 40' Mounting Height (Wide Range) [12, 24, 25]
MS-L08=Motion Sensor for ON/OFF Operation, Maximum 8' Mounting Height [12, 21]
MS-L20=Motion Sensor for ON/OFF Operation, 9' - 20' Mounting Height [12, 22]
MS-L40=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height [12, 21]
MS-L40W=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height (Wide Range) [12, 24]
LWR-LNI=LumaWatt Wireless Sensor, Wide Lens for 8' - 16' Mounting Height [26]
LWR-LN=LumaWatt Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height [26]
L90=Optics Rotated 90° Left
R90=Optics Rotated 90° Right
MT=Factory Installed Mesh Top
TH=Tool-less Door Hardware
LCF=Light Square Trim Plate Painted to Match Housing [27]
HSS=Factory Installed House Side Shield [28]
[Blank]=Without Warning

Accessories (Order Separately)

OA/RA1016=NEMA Photocontrol Multi-Tap - 105-285V
OA/RA1027=NEMA Photocontrol - 480V
OA/RA1201=NEMA Photocontrol - 347V
OA/RA1013=Photocontrol Shorting Cap
OA/RA1014=120V Photocontrol
MA1252=10kV Surge Module Replacement
MA1036-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon
MA1037-XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon
MA1197-XX=3@120° Tenon Adapter for 2-3/8" O.D. Tenon
MA1188-XX=4@90° Tenon Adapter for 2-3/8" O.D. Tenon
MA1189-XX=2@90° Tenon Adapter for 2-3/8" O.D. Tenon
MA1190-XX=3@90° Tenon Adapter for 2-3/8" O.D. Tenon
MA1191-XX=2@120° Tenon Adapter for 2-3/8" O.D. Tenon
MA1038-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon
MA1039-XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon
MA1192-XX=3@120° Tenon Adapter for 3-1/2" O.D. Tenon
MA1193-XX=4@90° Tenon Adapter for 3-1/2" O.D. Tenon
MA1194-XX=2@90° Tenon Adapter for 3-1/2" O.D. Tenon
MA1195-XX=3@90° Tenon Adapter for 3-1/2" O.D. Tenon
FSIR-100=Wireless Configuration Tool for Occupancy Sensor [29]
GLEON-MT1=Field Installed Mesh Top for 1-4 Light Squares
GLEON-MT2=Field Installed Mesh Top for 5-6 Light Squares
GLEON-MT3=Field Installed Mesh Top for 7-8 Light Squares
GLEON-MT4=Field Installed Mesh Top for 9-10 Light Squares
GLEON-QM=Quick Mount Arm Kit
GLEON-QMEA=Quick Mount Extended Arm Kit
LS/HSS=Field Installed House Side Shield [28, 30]

NOTES:
1. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP513001EN for additional support information.
2. DesignLights Consortium™ Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
3. Standard 4000K CCT and minimum 70 CRI.
4. Not compatible with extended quick mount arm (QMEA).
5. Not compatible with standard quick mount arm (QM) or extended quick mount arm (QMEA).
6. Requires the use of an internal step down transformer when combined with sensor options. Not available with sensor at 1200mA. Not available in combination with the HA high ambient and sensor options at 1A.
7. Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
8. May be required when two or more luminaires are oriented on a 90° or 120° drilling pattern. Refer to arm mounting requirement table.
9. Factory installed.
10. Not available with 5 squares.
11. Maximum 4 light squares.
12. Extended lead times apply. Use dedicated IES files for 3000K, 5000K and 6000K when performing layouts. These files are published on the Galleon luminaire product page on the website.
13. Extended lead times apply. Use dedicated IES files for 3000K, 5000K and 6000K when performing layouts. These files are published on the Galleon luminaire product page on the website.
14. 1 Amp standard. Use dedicated IES files for 600mA, 800mA and 1200mA when performing layouts. These files are published on the Galleon luminaire product page on the website.
15. Not available with HA option.
16. 2L is not available with MS, MS/X or MS/DIM at 347V or 480V. 2L in AF-02 through AF-04 requires a larger housing, normally used for AF-05 or AF-06. Extended arm option may be required when mounting two or more luminaires at 90° or 120° apart. Refer to arm mounting requirement table.
17. Not available with LumaWatt wireless sensors.
18. Requires the use of P photocontrol or the PER7 or R photocontrol receptacle with photocontrol accessory. See After Hours Dim supplemental guide for additional information.
19. 50°C lumen maintenance data applies to 600mA, 800mA and 1A drive currents.
20. The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
21. Approximately 22' detection diameter at 9' mounting height.
22. Approximately 40' detection diameter at 20' mounting height.
23. Approximately 50' detection diameter at 30' mounting height.
24. Approximately 100' detection diameter at 40' mounting height.
25. Replace X with number of Light Squares operating in low output mode.
26. LumaWatt wireless sensors are factory installed only requiring network components RF-EM-1, RF-GW-1 and RF-ROUT-1 in appropriate quantities. See www.eaton.com/lighting for LumaWatt application information.
27. Not available with house side shield (HSS).
28. Only for use with SL2, SL3, SL4 and AFL distributions. The Light Square trim plate is painted black when the HSS option is selected.
29. CE is not available with the LWR, MS, MS/X, MS/DIM, P, R or PER7 options. Available in 120-277V only.
30. One required for each Light Square.

Eaton
1121 Highway 74 South
Peachtree City, GA 30269
P: 770-486-4800
www.eaton.com/lighting

Specifications and dimensions subject to change without notice.

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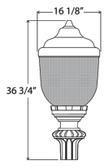
1-800-548-3227
ANPlighting.com

2017-10-31

ANP Lighting INNOVATIVE SITE LIGHTING

Specifications LF0962

Project: _____
Fixture Type: _____ Quantity: _____
Customer: _____



LF0962

LED

Weight: 28 lbs
EPA: 1.93

Specifications

Fitter: Fitter is durable 356 cast aluminum. All hardware provided shall be stainless steel or zinc plated steel.

Acorn Globe: Acorn Globes available in Type III & V clear refractive polycarbonate material.

Fixture Mounting:
Post Mount: Post Cap with set screws. Fits 3" and 4" poles.

Drivers:
LED: See page 2 for LED engine and driver specifications.

Electrical:
Approximately 12" of pull wire extends from luminaire. Additional pull wire provided for post mount arms and wall mounts.

Finish:
A polyester powder coat high quality finish is electro-statically applied and baked at 430° for exceptional durability and color retention. Products undergo an intensive five-step cleansing and pretreatment process for maximum paint adhesion.

Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 3000 hours of continuous salt spray, comes with a 5-year warranty and is available in either a textured or gloss surface.

Modifications:
Consult factory for custom or modified luminaires.

Catalog Logic

LF0962 - 12 - CLT3 - T114LD4 - N - T5 - 50K - PC - FIN02 - WM2141 - 72

Luminaire Series | Cage | Lens | Light Source & Wattage | Dimming Optic | CCT | Accessories | Finial | Mounting | Finish

Catalog Number: LF0962 | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10

1 OPTIONAL CAGES
**Pick a Ring and a Rib
See Page 3 for Style/Design

RING: 1, 2, 3, 4
RIB: 1, 2, 3, 4, 5
CAGE: 90

2 LENSES

CLT3 (Type III Clear Refractive Polycarbonate)
CLT5 (Type V Clear Refractive Polycarbonate)

3 LIGHT SOURCE & WATTAGES

P046LD4	(46w Platform; 400ma Driver)
P078LD4	(78w Platform; 400ma Driver)
P117LD4	(117w Platform; 400ma Driver)
T031LD4	(31w Tower; 400ma Driver)
T042LD4	(42w Tower; 400ma Driver)
T052LD4	(52w Tower; 400ma Driver)
T062LD4	(62w Tower; 400ma Driver)
T073LD4	(73w Tower; 400ma Driver)
T083LD4	(83w Tower; 400ma Driver)
T094LD4	(94w Tower; 400ma Driver)
T104LD4	(104w Tower; 400ma Driver)
T114LD4	(114w Tower; 400ma Driver)

4 DIMMING

N (No Dimming)
D (Dimming; 0-10v DC)

5 OPTICS

Platform	Tower
T2 (Type II)	**T5** (Type V)
T3 (Type III)	
T5 (Type V)	

6 COLOR TEMPERATURE (CCT)

Platform/Tower	
27K	(2700K)
35K	(3500K)
40K	(4000K)
50K	(5000K)

7 ACCESSORIES

HSS90	(90° House Side Shield, polished)
HSS120	(120° House Side Shield, polished)
PHSS90	(90° House Side/Uplight Shield, polished)
PHSS120	(120° House Side/Uplight Shield, polished)
EMG-LED	(LED Emergency Driver, remote placement)
HLMSPC	(High-Low Motion Sensor/Photocell; **0-10v Dimming Required**)
PC	(Button Photo Cell)
RNR	(Reinforcing Neck Ring)
SP	(Surge Protector, 10kA & 10kV)
TLPC	(Twist Lock photo cell, includes receptacle & photo cell)
TL	(Twist Lock receptacle only)
TL5	(5-pin Twist Lock receptacle)
TL7	(7-pin Twist Lock receptacle)

8 FINIALS

*See Page 4 for Style/Size

FIN02, FIN04, FIN05, FIN06, FIN10, FIN12, FIN15, FIN18, FIN28, FIN39, FIN41, FIN42, FIN48, FIN64, FIN70

9 MOUNTING SOURCE

Post Mount Arms *See Page 4 for Style/Size		Wall Mount Arms *See Page 4 for Style/Size	
PA5151	**PA8711**	**WM2141**	**WM8581**
PA5171	**PA8831**	**WM2211**	**WM8831**
PA5411		**WM3351**	
PA5621		**WM4511**	
PA5651		**WM5131**	
PA6211		**WM5161**	
PA7911		**WM5311**	
PA8031		**WM5601**	
PA8521		**WM7411**	
PA8571		**WM8011**	
Column Mount *See Page 4 for Style/Size			
CM	Column Mount		

10 FINISHES

Standard Grade	Marine Grade		Standard Grade	Marine Grade	
40	NA	Raw Unfinished	53	100	Copper Clay
41	101	Black	56	109	Silver
42	102	Forest Green	61	106	Black Verde
43	114	Bright Red	70	118	Painted Chrome
44	107	White	71	105	Painted Copper
45	112	Bright Blue	72	108	Textured Black
46	123	Sunny Yellow	73	125	Matte Black
47	120	Aqua Green	76	121	Textured Architectural Bronze
49	NA	Galvanized	77	127	Textured White
50	111	Navy	78	124	Textured Silver
51	103	Architectural Bronze	10	130	Aspen Green
52	104	Patina Verde	11	131	Canteloupe
12	133	Lilac	13	132	Putty

Consult factory for additional paint charges and availability

1-800-548-3227
ANPlighting.com

2017-10-31

ANP Lighting INNOVATIVE SITE LIGHTING

Specifications LF0962

Project: _____
Fixture Type: _____ Quantity: _____
Customer: _____

LED PERFORMANCE

PLATFORM

LED Wattage	CCT	Lumens	System Wattage	Efficacy
46w	2700K	3450	46w	80
46w	3500K	3910	46w	85
46w	4000K	5014	46w	109
46w	5000K	5290	46w	115
78w	2700K	6000	80w	80
78w	3500K	6800	80w	85
78w	4000K	8720	80w	109
78w	5000K	9200	80w	115
117w	2700K	9000	120w	80
117w	3500K	10,200	120w	85
117w	4000K	13,080	120w	109
117w	5000K	13,920	120w	115

TOWER

LED Wattage	CCT	Lumens	System Wattage	Efficacy
31w	2700K	2720	34w	80
31w	3500K	2890	34w	85
31w	4000K	3706	34w	109
31w	5000K	3910	34w	115
42w	2700K	3375	45w	80
42w	3500K	3825	45w	85
42w	4000K	4905	45w	109
42w	5000K	5175	45w	115
52w	2700K	3975	53w	80
52w	3500K	4505	53w	85
52w	4000K	5777	53w	109
52w	5000K	6905	53w	115
62w	2700K	4800	64w	80
62w	3500K	5440	64w	85
62w	4000K	6976	64w	109
62w	5000K	7360	64w	115
73w	2700K	5475	73w	80
73w	3500K	6205	73w	85
73w	4000K	7957	73w	109
73w	5000K	8395	73w	115
83w	2700K	6300	84w	80
83w	3500K	7140	84w	85
83w	4000K	9156	84w	109
83w	5000K	9660	84w	115
94w	2700K	6975	93w	80
94w	3500K	7905	93w	85
94w	4000K	10137	93w	109
94w	5000K	10695	93w	115
104w	2700K	7725	103w	80
104w	3500K	8755	103w	85
104w	4000K	11227	103w	109
104w	5000K	11845	103w	115
114w	2700K	8559	114w	80
114w	3500K	9690	114w	85
114w	4000K	12426	114w	109
114w	5000K	13110	114w	115

PLATFORM/TOWER SPECIFICATION:

- Efficacy ranges from 80-115 lumens per watt
- Customized lens precisely directs the light
- Operating temperature of -30C to 55C
- Dimmable 10% - 100%
- Life: L70 is 60,000 hours
- CCT: 2700K, 3500K, 4000K and 5000K
- CRI: >70 @ 5000K
- Parallel circuitry ensures consistent light output in the event of single LED failure

PLATFORM/TOWER DRIVER SPECIFICATION:

- Operates at 400mA
- Built in surge protection
- Constant current output 50/60HZ
- Driver Efficiency > 90% power factor above 99%
- 120 – 277 volts

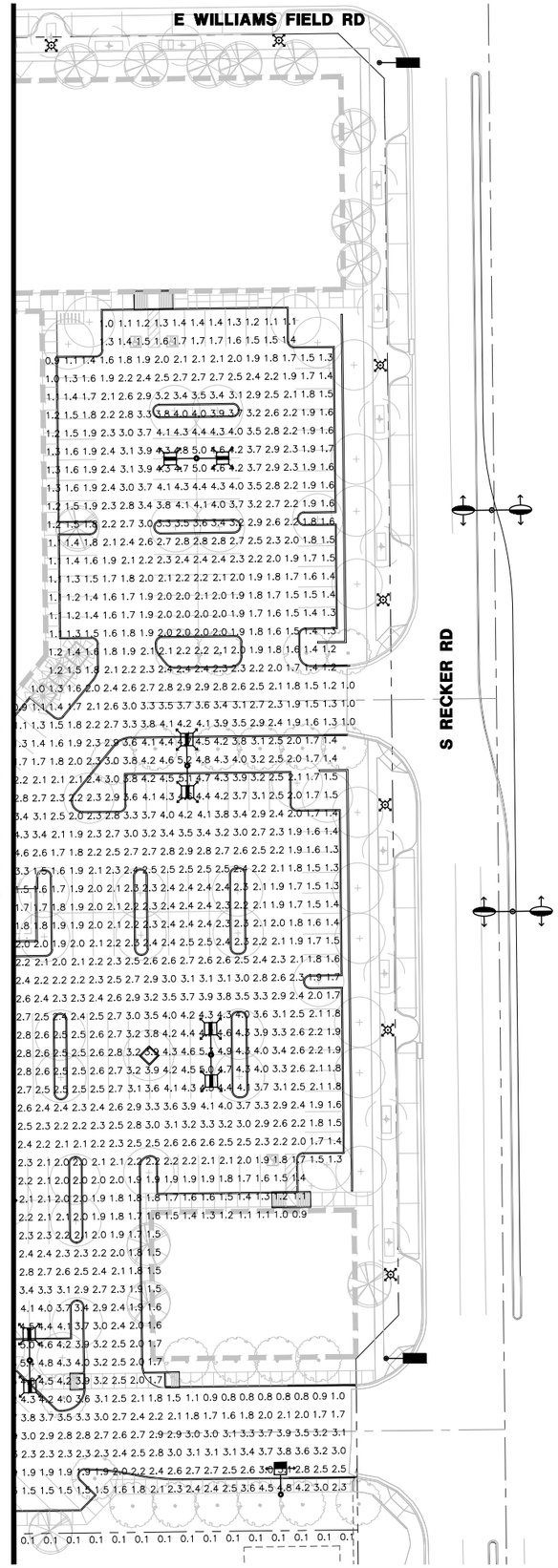
PLATFORM/TOWER LISTINGS

- Fully compliant with the RoHS Directive
- Certifications: ETL
- Rated IP65 with an optional IP66 rating

WARRANTY

See terms and conditions for complete fixture warranty.
LED warranty information
- 7 year limited warranty* on Platform & Tower LED engines
- 5 year limited warranty* on Platform & Tower Drivers

*Limited Warranty: A typical year is defined as 4380 hours of operation. Failure defined as more than 8% of the total platform or tower LED's not operating.



CALCULATIONS

Parking Lot
5877 points at z=0, sp 8ft by 8ft
HORIZONTAL FOOTCANDLES

Average	2.3
Maximum	5.4
Minimum	0.2
Avg:Min	11.56
Max:Min	27.00
Coef Var	0.47
UnifGrad	5.56

Property Line
90 points
HORIZONTAL FOOTCANDLES

Average	0.1
Maximum	0.3
Minimum	0.0
Avg:Min	N/A
Max:Min	N/A
Coef Var	0.85

LEGEND

COOPER LIGHTING – McGRAW–EDISON
GLEON–AF–04–LED–E1–5WQ Type V
candela file 'GLEON–AF–04–LED–E1–5WQ.ies'
64 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 225
mounting height= 25 ft
number locations= 31, number luminaires= 31
kw all locations= 7.0

COOPER LIGHTING – McGRAW–EDISON
GLEON–AF–02–LED–E1–SL4–HSS Type IV
candela file 'GLEON–AF–04–LED–E1–SL4–HSS.ies'
64 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 225
mounting height= 25 ft
number locations= 3, number luminaires= 3
kw all locations= 0.7

COOPER LIGHTING – McGRAW–EDISON
GLEON–AF–04–LED–E1–T4FT Type IV
candela file 'GLEON–AF–04–LED–E1–T4FT.ies'
64 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 225
mounting height= 25 ft
number locations= 1, number luminaires= 1
kw all locations= 0.2

COOPER LIGHTING – McGRAW–EDISON
GLEON–AF–03–LED–E1–SL2 TYPE II
candela file 'GLEON–AF–03–LED–E1–SL2–HSS.ies'
48 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.910, watts per luminaire = 166
mounting height= 25 ft
number locations= 8, number luminaires= 8
kw all locations= 1.3

ANP LIGHTING
LF–0962–T114LD4–N–T5–40K
candela file 'LF1535–CLST–T083LDNT540K.IES'
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 1.220, watts per luminaire = 83
mounting height= 12 ft
number locations= 14, number luminaires= 14
kw all locations= 1.2

ANP LIGHTING
LF–0962–T042LD4–N–T5–40K
candela file 'LF1535–CLST–T042LD4NT540K.IES'
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.900, watts per luminaire = 42
mounting height= 12 ft
number locations= 7, number luminaires= 7
kw all locations= 0.3

EXISTING 31W ANP LIGHTING
DECORATIVE LED PEDESTRIAN LIGHT
candela file 'LF1535–CLST–T042LD4NT540K.IES'
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.510, watts per luminaire = 43
mounting height= 12 ft
number locations= 13, number luminaires= 13
kw all locations= 0.6

EXISTING 78W ANP
DECORATIVE LED STREETLIGHT
candela file 'LA9900–3–P078LD4NT340K.IES'
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.770, watts per luminaire = 77
mounting height= 29 ft
number locations= 16, number luminaires= 16
kw all locations= 1.2

EXISTING 250W HPS STREETLIGHT
candela file 'GE453714.IES'
1 lamp(s) per luminaire, 30000 initial lumens per lamp
Light Loss Factor = 0.850, watts per luminaire = 305
mounting height= 40 ft
number locations= 4, number luminaires= 4
kw all locations= 1.2

NORTH
GRAPHIC SCALE
30 15 0 15 30 60
1 INCH = 30 FEET

WRIGHT engineering corporation
ELECTRICAL ENGINEERING AND DESIGN
165 EAST CHILTON DRIVE • CHANDLER, ARIZONA 85225
PHONE 480.497.5829 • FAX 480.497.5807

PHOTOMETRIC CALCULATION SHEET. FOR INFORMATION ONLY.

Registered Professional Engineer Certificate No. 46691 ADAM M. BOWERS 7-31-19 State of Arizona
Expires 9–30–19

PROJECT NAME:
VERDE AT COOLEY STATION PHOTOMETRICS

WRIGHT ENG.
PROJECT NO: **18325**

DESIGN BY: CRC **PH2**

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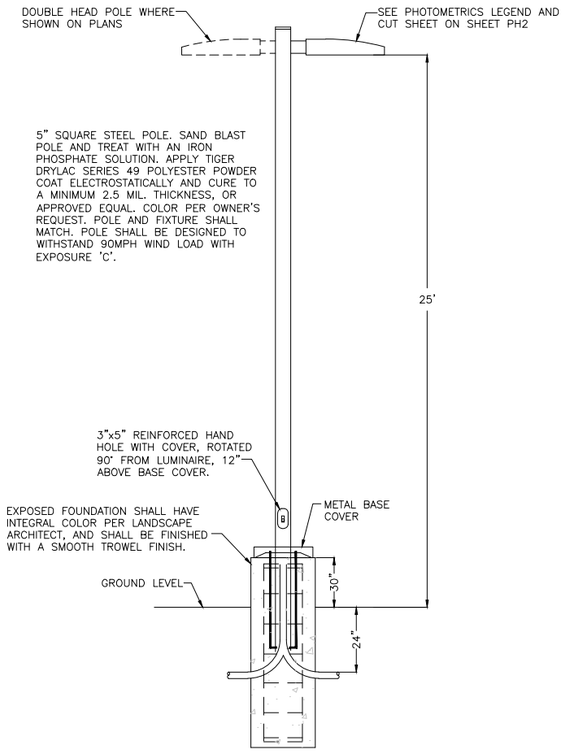
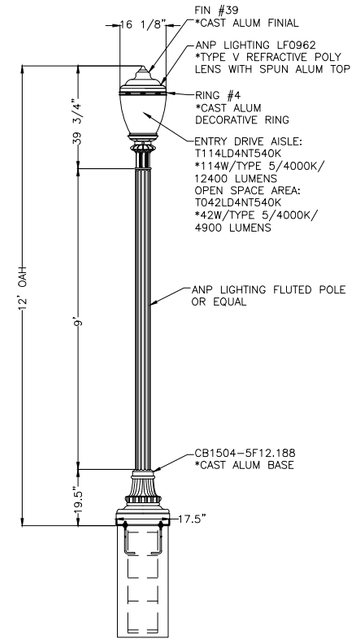


1 FOUNDATION MOUNTED AREA LIGHT DETAIL

NO SCALE



2 DECORATIVE LED PEDESTRIAN LIGHT DETAIL

WRIGHT engineering corporation
ELECTRICAL ENGINEERING AND DESIGN
165 EAST CHILTON DRIVE • CHANDLER, ARIZONA 85225
PHONE 480.497.5829 • FAX 480.497.5807

PHOTOMETRIC CALCULATION SHEET. FOR INFORMATION ONLY.

Registered Professional Engineer (Electrical) Certificate No. 46691 ADAM M. BOWERS Date Signed 11-8-18 Expires 9-30-19

PROJECT NAME:
VERDE AT COOLEY STATION PHOTOMETRICS

WRIGHT ENG. PROJECT NO: **18325**

DESIGN BY: CRC **PH3**

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